



# **NORTHWEST ASSOCIATED CONSULTANTS, INC.**

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4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422  
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## **MEMORANDUM**

TO: Phil Kern  
FROM: Alan Brixius  
DATE: May 8, 2024  
RE: Delano - Parkview Hills North - 2024 Preliminary Plat / Final  
FILE NO: 432.07 - 24.04

## **BACKGROUND**

In July of 2022, the City Council approved a R-3 Single Family Residential zoning district and a preliminary plat with conditions for Backes Development, LLC for 64-lot single family residential subdivision entitled "Parkview Hills North." The proposed subdivision overlays 44-acres of land located south of the City limits, east and west of County Road 16.

The approved preliminary plat was conditioned on the resolution of a property line dispute along the western boundary of the plat. Additionally, the applicant wishes to eliminate the direct street access to County Road 16. These changes to the plat design require the submission of a new preliminary plat. The current application requests preliminary plat and a final plat approval for the first phase of development.

The balance of this report evaluates the preliminary plat against City Code requirements and the previous 2022 conditions for approval.

To accommodate the project, the following approvals are necessary:

1. Preliminary plat of Parkview Hills North consisting of 64 single family lots and 7 outlots.
2. Final plat of Parkview Hills North consisting of 30 single family lots and 8 outlots.

Attached for reference:

- Exhibit A - Site Location
- Exhibit B - Existing Conditions
- Exhibit C - Preliminary Plat
- Exhibit D - Grading Plan

- Exhibit E - Utility Plan
- Exhibit F - Tree Inventory
- Exhibit G - Landscape Plan
- Exhibit H – Final Plat

## ISSUES AND ANALYSIS

### ZONING

As noted, The City Council approved the R-3 zoning for the western portion of the Parkview Hills North plat in 2022. This zoning is consistent with the 2040 Delano Comprehensive Plan which guided this land for Low to Medium residential land uses.

### PRELIMINARY PLAT

**Existing Conditions.** Exhibit B illustrates the site's existing conditions. The site contains wetlands, woodlands and 100-year flood fringe.

1. The plan proposes to mitigate the existing wetlands. The plat needs WCA approval of a Wetland Mitigation plan. The plat shall be revised to meet all conditions of WCA approval.
2. The Applicant has provided a tree inventory and a tree preservation plan. Tree preservation areas have been designated along the plat's western and northern boundaries. The tree inventory indicates that the approximately 50% of the existing trees will be saved within both East and West portions of the plat. The majority of the existing trees within the site consists of low-quality trees (Boxelder, Willow, Cottonwood, Siberian Elm and Silver Maple). The table below is a summary of the tree inventory.

	Total Trees		Significant Trees*		Saved Trees		Removed Trees	
Western Parcel	533	100%	120	22.5%	205	38.5%	328	61.5%
Eastern Parcel	137	100%	50	36.5%	129	94.2%	8	5.8%
Total Plat Trees	671	100%	170	25.3%	334	49.9%	336	50.1%

The tree preservation plan is acceptable provided that the tree preservation measures are installed and are in place before site grading begins.

3. The plat identifies the 100-year flood fringe. The flood fringe is being platted within outlots. The only improvements within the flood fringe will be storm water ponding, trails, and a future driveway improvement to access the buildable area within Outlot H. Beyond these improvements the flood fringe will be zoned FF-2 district and no other improvements will be allowed that may reduce the flood storage capacity within the flood fringe.

**Streets.** As shown on the preliminary plat drawing, the subject site is to be accessed via 85<sup>th</sup> Street. The following streets are impacted by the proposed subdivision.

County Road 16 is designated as a minor arterial street in the Delano 2040 Comprehensive plan. The plat abuts County Road 16. Wright County requires dedication of 60 feet of right-of-way from the centerline of County Road 16 on both sides of the street. The preliminary and final plat shows this dedication and the provision of right-of-way for a roundabout at County Road 16 and 85th Street intersection.

With the plat, the developer shall install turn lanes and bypass lanes on County Road 16 at 85<sup>th</sup> Street as may be required by Wright County.

85<sup>th</sup> Street is designated as a Major Collector in the Delano Comprehensive Plan. The required right-of-way dedication for 85<sup>th</sup> Street will be 80 feet in total width. The preliminary plat provides the required 40 feet of right-of-way for the north side of 85<sup>th</sup> Street. The City Engineer has determined the construction costs for improving 85<sup>th</sup> Street to an urban major collector design and estimated the benefitted service area to allocate the costs. The developer shall be required to pay their proportional share of costs for the 85<sup>th</sup> Street improvements.

**Local Streets.** The plat shows access via 85<sup>th</sup> street and circular street pattern through the plat. The local streets are platted with 60-foot-wide rights-of-way consistent with City requirements. The street layout includes two street stubs extended to the plats western boundary providing future street access at such time when neighboring properties develop.

In review of the street layout, the following conditions are recommended as conditions of preliminary plat and final plat approval:

1. The alignment of Parkhills Drive and 84<sup>th</sup> Street SE is not an aligned intersection. The plat must be redesigned to provide an aligned full intersection. Street plans shall be subject to the review and approval of the City Engineer.
2. The streets shall be named in accordance with the City's Street naming policy.
3. Streetlights and traffic control signs shall meet City design standards and related installation costs shall be borne by the subdivision.
4. The final plat shows the extension of 84<sup>th</sup> Street north for 1040 feet. The plat and development plans must illustrate the provision of a temporary cul-de-sac.

**Lots.** Within the applicable R-3 zoning district, the following minimum lot requirements apply:

	<b>Requirement</b>
Minimum Lot Area (Interior)	10,500 square feet
Minimum Lot Area (Corner)	12,000 square feet
Minimum Lot Width (Interior)	70 feet
Minimum Lot Width (Corner)	90 feet
Minimum Lot Depth	135 / 155 feet

While all proposed lots have been found to meet minimum R-3 District requirements. However, in review of the lot layout we offer the following comments on the configurations on number of lots.

Block 4, Lot 6. This is a triangular lot, with a narrow rear yard. The rear lot line shall be straightened between Lots 5 and 7. Property demarcation posts shall be required at the rear lot corners to designate lot boundary between the lots and outlot C.

Block 5, Lots 1 and 2. These are triangular lots, with narrow rear yards. Property demarcation posts shall be required at the lot corners to designate lot boundary between the rear lots and outlot C and clearly define the boundaries of these lots.

Block 5, Lot 14. Straighten south lot line of Lot 14 through Lot 2, to avoid future lot line disputes.

Lots in Block 6 and 7 all exceed the lot size standards. These lots have additional lot depth in an effort to preserve trees along the west and north plat boundaries. The Grading plan (Exhibit E) shows drainage swales across rear lots to catch basins. The location of these swales runs through the rear yards of these lots between the building pads and the tree preservation area. These swales must be located within a drainage and utility easement to prevent alterations that may impede the approved drainage patterns. The swale and easement will limit the ability to use the rear yard. No sheds, decks, fences, or filling may be allowed within the easement that may obstruct the approved drainage patterns in Block 6 and 7. The plat must be revised to establish the needed drainage and utility easement over the drainage swale. As a condition of plat approval easement restrictions shall be included as deed covenants and in the sales materials for these impacted lots.

Lots within Blocks 1 and 2 of the preliminary plat, which border arterial and major collector roadways are required to provide a buffer yard along the rear lot lines. (County Road 16 is designated as a "minor arterial" street while 85th Street is a designated "major collector" street). Thus, such lots must provide an additional 20 feet of lot depth to accommodate a landscaped buffer yard. Appropriately, lot depths of 155 feet have

been provided for lots which abut County Road 16 and 85<sup>th</sup> Street. In examining the grading and landscape plan the following issues are presented.

1. The grading plan shows a storm sewer along the rear lot lines of lot 1 – 5. This will not allow buffer yard plantings within the lots.
2. The Landscape plan shows the buffer yard planting within County Road 16 right-of-way. This is not acceptable in that the landscaping is outside the plat.
3. The house pad will be 2 to 4 feet higher than the rear lot line elevation. This will reduce the effectiveness of the 6-foot-tall coniferous trees as screen.

To address the aforementioned concerns the following recommendations are offered recommendations.

1. The Storm sewer shall be shifted to the rear lot lines of Block 1.
2. All buffer yard landscaping shall be located within the rear yards of the lots. Maintenance of the landscaped buffer yards shall be the responsibility of the future lot owners.
3. Landscaping shall be coordinated with the grading plan to maximize the screen effectiveness.
4. Drainage and utility easements shall cover the rear yard drainage swales.

**Setbacks.** Within R-3 zoning districts, the following setbacks apply:

	<b>Requirement</b>
Front Yard	30 feet
Side Yard (Interior)	10 feet
Side Yard (Corner)	20 feet
Rear Yard	25 feet

All illustrated house pads demonstrate an ability to meet the preceding R-3 District setback requirements.

To be noted is that the existing farmhouse located on Lot 9, Block 1 has a rear yard setback on 20 feet from County Road 16 right-of-way. While such setback does not meet the R-3 District standard of 25 feet, the home is considered legally nonconforming by reason of setback and may continue to exist in its present location.

**Outlots.** The proposed preliminary plat includes the following outlots:

Outlot A. Outlot A is located on the east side of County Road 16 and will accommodate a detention pond which will retain and treat stormwater. This outlot will be dedicated to the City.

Outlot B. Outlot B is located in the northeast corner of the plat along County Road 16 will accommodate a stormwater pond. Like Outlot A, this outlot will be dedicated to the City. This Outlot abuts the rear yards of Lots 11- 13, Block 7 and the side lot line of Lot1, Block 1, the applicant shall install outlot boundary demarcation posts along the rear and side lot lines abutting Outlot B.

Outlot C. Outlot C is located within the interior of Blocks 4 and 5. This Outlot encompasses a stormwater pond. This outlot will be dedicated to the City. Access to the pond for maintenance purposes is provided from the east. To avoid trespassing of lot activities, into this Outlot the applicant shall install outlot boundary demarcation posts along the rear lot lines abutting Outlot C.

Outlots D and E. These Outlots are located along the plat's western boundary. The outlots are 16 feet in width. These Outlots are being created to allow for resolution of the property line dispute along this west boundary line.

Outlot F. Outlot F is located in the extreme northwest corner of the plat and is intended to accommodate a future bituminous trail connection to Willow Drive. The Outlot's configuration is not adequate for immediate trail construction. The future construction of a trail connection to Willow Drive will be dependent on the future development of the property to the west.

Outlot G. Outlot G is illustrated only on the final plat. This represents the second phase of development for Parkview Hills North, (Blocks 5,6,7 of the preliminary plat).

Outlot H. Outlot H, is located on the east side of County Road 16. The Outlot overlays land which is expected to be subdivided as part of future development. The outlot will remain under private ownership.

Outlots A, B, C and F shall be dedicated to the City in fee title.

**Easements.** Easements are shown of the submitted preliminary plat drawing consistent with the submittal requirements of the City's Subdivision Ordinance, the submitted preliminary plat drawing must be revised to illustrate all easements.

In review of the grading plan, we recommend expanded easements must be placed over drainage swales located within the rear yards of Blocks 6 and 7 to preserve the proposed rear yard drainage patterns of the lots within these Blocks. Individual lot improvements cannot interrupt the rear yard drainage patterns to the detriment of the adjoining properties.

All easements shall be subject to review and approval of the City Engineer.

**Utilities.** In review of the utility plan, the following comments are offered:

1. The utility plan shall be subject to the review and approval of the City Engineer.

2. The phone, electric, cable, and gas services installation shall be planned and coordinated to be installed in a joint trench. These utilities shall also be coordinated with street construction to identify the location of conduits crossing streets.
3. Utility services to individual home sites shall be located outside of the driveway.

**Storm Water Management.** In review of the grading and drainage plan, the following comments are offered:

1. The grading, drainage, stormwater management, and erosion control plans shall be subject to the review of the City Engineer.
2. The grading plan indicates that house elevations are a minimum of 18 inches above the street curb. Homes must be located two feet above pond elevations, high water elevations, and one-foot above emergency overflows for low openings.
3. The submitted landscape plan must specify the following stormwater-related items:
  - Outlot, wetland, pond easement demarcation posts at the periphery of these outlots and easements to prevent trespass, mowing or buildings encroaching into these Outlots, stormwater drainage ways or ponds.
  - Tree preservation fencing shall be installed prior to the start of grading. The type, location and installation of the tree preservation fencing shall be approved by the City Engineer prior to initiating grading.

**Park Dedication.** No park land is included in the proposed subdivision. As a condition of subdivision approval, the applicant must satisfy the park dedication requirements of the City. In lieu of park land dedication, a cash contribution is recommended.

**Sidewalks/Trails.** As shown on the submitted site plan, sidewalks are proposed along one side of the local streets. Additionally, sidewalks are proposed along 8<sup>2nd</sup> and 84<sup>th</sup> Streets where future westerly street extensions are anticipated.

The Delano Subdivision Code requires a sidewalk on one side of a street and a trail on the opposite side of a major collector street or trails on both sides of a major collector street. 85<sup>th</sup> Street is a major collector street. City Staff recommends that a trail on the north side of 85<sup>th</sup> Street be constructed from County Road 16 to 2<sup>nd</sup> Street SW, with the plat development. This recommendation is dependent on securing trail easements from the property owners west of the plat.

In previous reviews, it was recommended that the plat provide a bituminous trail to Willow Drive to allow a pedestrian / bicycle connection to Barbra King Park. Staff

recommends continuing to require this trail corridor until the 85<sup>th</sup> Street trail construction is certain. With the construction of 85<sup>th</sup> Street trail and the resolution of the property line dispute the trail corridor connection to Willow Drive is no longer available at this time. This trail connection will be reliant on the future development of the property of the property to the west.

The comprehensive plan established a greenway trail corridor along the Crow River. Staff recommends the plat be revised to establish a trail corridor within Outlot H, from County Road 16 to the river and along the river.

**Landscaping.** As required, the applicant has submitted a landscape plan for review. The plan appropriately illustrates two trees on every lot. Also of note is that landscape buffers are proposed along County Road 16 and 85<sup>th</sup> Street.

In review of the landscape plan, the following comments are offered:

1. The buffer yard plantings must be located within the lots along County Road 16 and 85<sup>th</sup> Street.
2. The selected buffer plantings along County Road 16 and 85<sup>th</sup> Street shall be a species that will be salt tolerant.
3. The tree plantings on Lot 16 Block 1 shall be removed from the traffic visibility triangle setback at the corner of 85<sup>th</sup> Street and Parkhills Drive.
4. The landscape plan shows the intended ground cover treatments for the graded area, wetland / pond buffers. The treatments are acceptable.

**Grading, Drainage and Utilities.** Issues related to grading, drainage and utilities shall be subject to specific review and approval by the City Engineer.

## **RECOMMENDATION**

The western portion of the Subdivision is zoned R-3 Single Family Residential District, the plat is designed to be compliant with this zoning district. Based on the preceding plat review, the following is recommended:

**Preliminary Plat.** Approval of the Parkview Hills North preliminary and final plat and associated plans, subject to the following conditions:

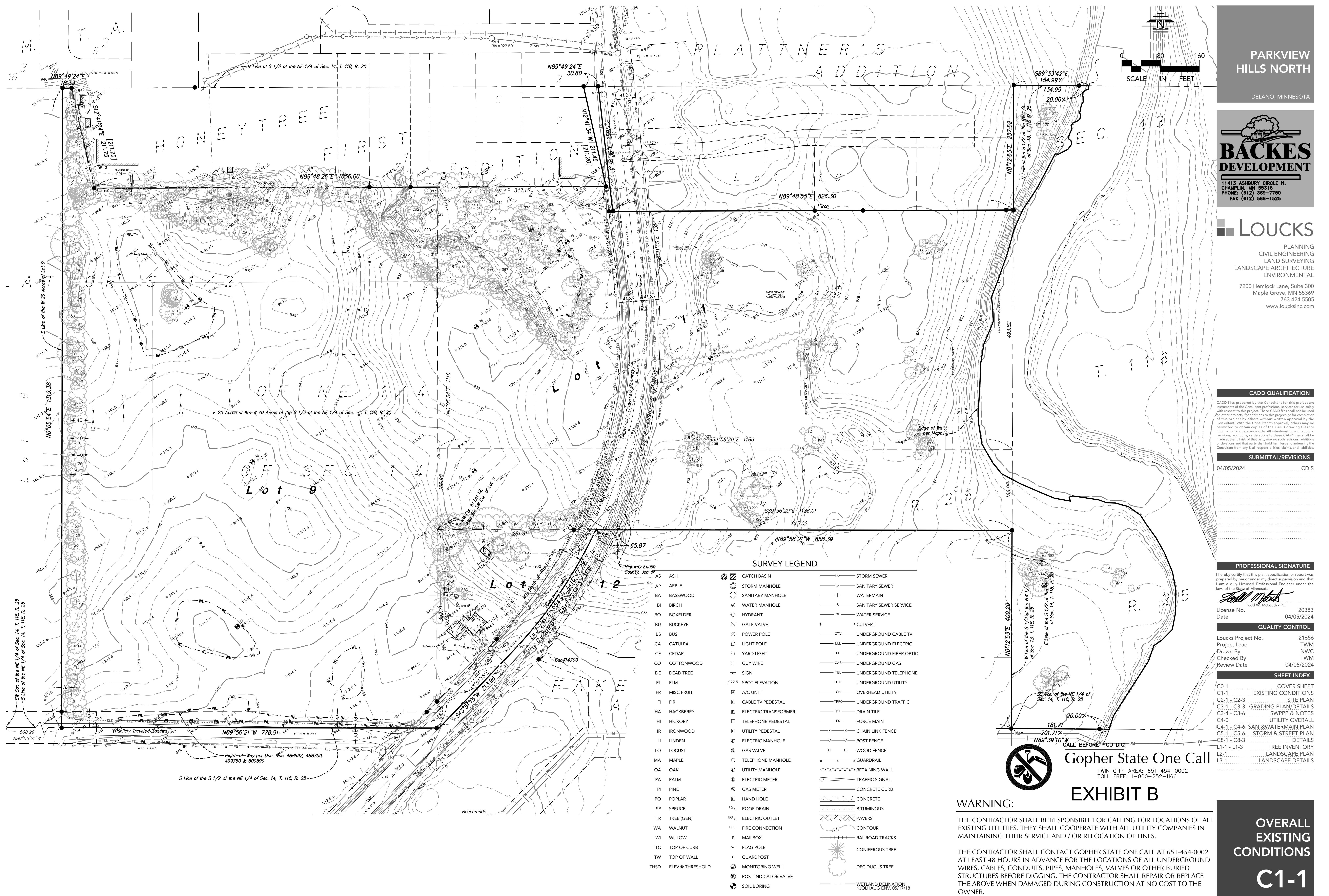
1. The Plat is subject to WCA approval. The plat shall be revised to meet all conditions of WCA approval.
2. The tree preservation measures are installed and are in place before site grading begins.

3. The alignment of Parkhills Drive and 84<sup>th</sup> Street SE is not an aligned intersection. The plat must be redesigned to provide an aligned full intersection. Street plans shall be subject to the review and approval of the City Engineer.
4. The streets shall be named in accordance with the City's Street naming policy.
5. Streetlights and traffic control signs shall meet City design standards and related installation costs shall be borne by the subdivision.
6. The final plat shows the extension of 84<sup>th</sup> Street north for 1040 feet. The plat and development plans must illustrate the provision of a temporary cul-de-sac.
7. The Developer shall provide a proportional share cast contribution as estimated by the City Engineer for the future construction of 85<sup>th</sup> Street as an urban major collector street.
8. Individual lots shall be prohibited from receiving direct access from County Road 16 and 85<sup>th</sup> Street.
9. Block 4, Lot 6. This is a triangular lot, with a narrow rear yard. The rear lot line shall be straightened between Lots 5 and 7. Property demarcation posts shall be required at the rear lot corners to designate lot boundary between the lots and outlot C.
10. Block 5, Lots 1 and 2. These are triangular lots, with narrow rear yards. Property demarcation posts shall be required at the lot corners to designate lot boundary between the rear lots and outlot C and clearly define the boundaries of these lots.
11. Block 5, Lot 14. Straighten south lot line of Lot 14 through Lot 2, to avoid future lot line disputes.
12. Outlots A, B, C and F shall be dedicated to the City in fee title.
13. The submitted preliminary and final plats shall be revised to illustrate all easements. Easements shall be placed over rear yard drainage swales. All easements shall be subject to review and approval of the City Engineer. No construction of sheds, fences, patios or filling may occur with the drainage and utility easements.
14. The utility plan shall be subject to the review and approval of the City Engineer.
15. The phone, electric, cable, and gas services installation shall be planned and coordinated to be installed in a joint trench. These utilities shall also be coordinated with street construction to identify the location of conduits crossing streets.
16. Utility services to individual home sites shall be located outside of the driveway.

17. A trail shall be constructed to Willow Drive, unless an alternative trail can be constructed along the north side of 85<sup>th</sup> Street between County Road 16 and 2<sup>nd</sup> Street SW.
18. Plat be revised to provide a trail corridor through Outlot H from County Road 16 to the river and along the river for the full length of Outlot H.
19. The buffer yard plantings must be located within the lots along County Road 16 and 85<sup>th</sup> Street.
20. The selected buffer plantings along County Road 16 and 85<sup>th</sup> Street shall be a species that will be salt tolerant.
21. The tree plantings on Lot 16 Block 1 shall be removed from the traffic visibility triangle setback at the intersection of 85<sup>th</sup> Street and Parkhills Drive.
22. The plat shall install demarcation posts at the periphery of outlots and easements containing stormwater pond, or wetland buffers to prevent trespass, mowing or building in these stormwater drainage ways or pond outlots.
23. The grading, drainage and utility plans shall be subject to specific review and approval by the City Engineer.
24. The applicant shall satisfy the park dedication requirements of the City.
25. The applicant shall enter into a development agreement with the city outlining the conditions of the plat approval and the securities for required for the site development Improvements.

Cc: Paula Bauman  
Scott Dornfeld  
Shawn Louwagie  
Backes Development, LLC  
Todd McLouth



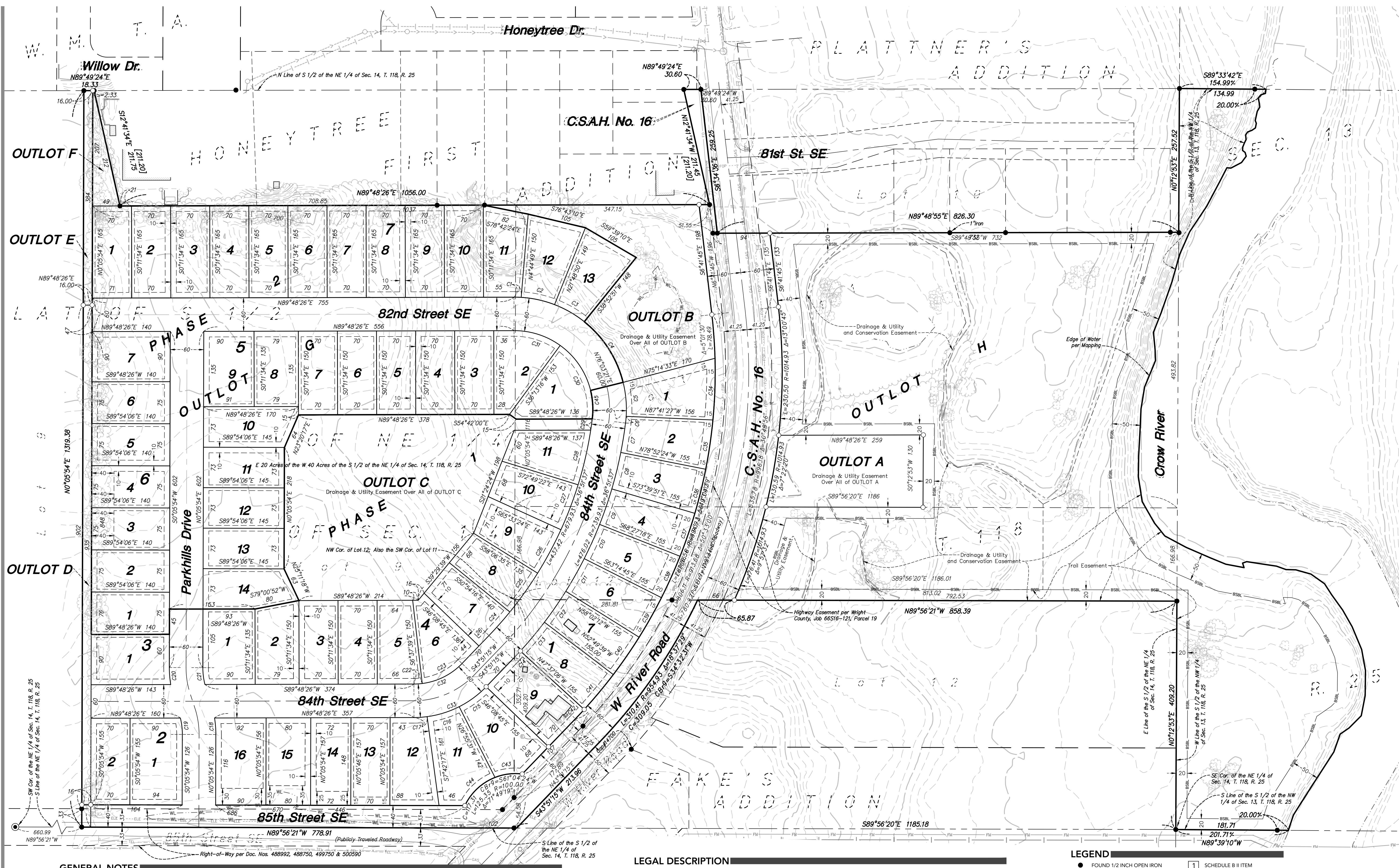
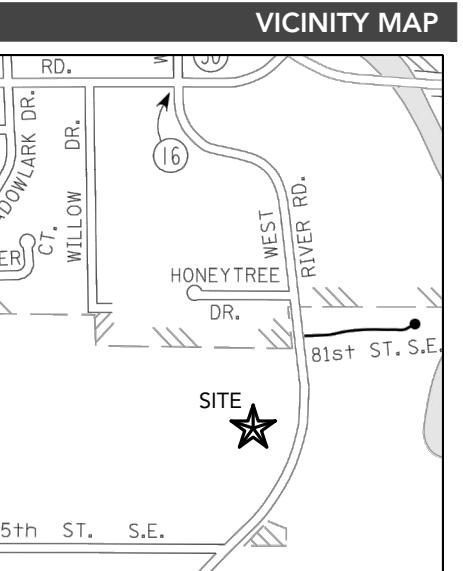


**CADD QUALIFICATION**  
CADD files prepared by the Consultant for this project are the property of the Consultant and are to be used only with respect to this project. These CADD files shall not be used on other projects, for addition to this project, or for completion of this project, without the written permission of the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for limited purposes, such as review, evaluation, or potential revisions, additions, or deletions to these CADD files shall be the responsibility of the Consultant, and the Consultant shall be responsible for any damages resulting from such changes or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

**SUBMITTAL/REVISIONS**  
05/09/23 PRELIMINARY ISSUED  
04/08/24 PRELIMINARY REVISED

**PROFESSIONAL SIGNATURE**  
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor in the state of Minnesota.  
Max L. Stasiowski - PLS  
License No. 48988  
Date 05/09/23

**QUALITY CONTROL**  
Loucks Project No. 21656  
Project Lead TWM  
Drawn By KMM  
Checked By MLS  
Field Crew CMS



#### GENERAL NOTES

ENGINEER:  
Loucks  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55330  
763.424.5505

- Prepared April 8, 2024.
- The address, as disclosed in documents provided to the surveyor, obtained by the surveyor, or observed while conducting the fieldwork is unassigned, together with 8467 County Road 16 SE, Delano, MN 55328, as to Lot 12, lying west of County State Aid Highway No. 16.
- The bearings for this survey are based on the Wright County Coordinate System NAD 83 (1986 Adjust).
- This property is contained in Zone X (areas of 500 year flood, areas of 100 year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100 year flood), and floodway areas in Zone AE per Flood Insurance Community Panel No. 270534 0044 C, effective date of August 18, 1992.
- The field work was completed on March 16, 2022.
- All monuments will be set after construction is completed, or within one year of the plat being filed.
- See Sheet 2 for notes, lot tables, and curve tables.

#### LEGAL DESCRIPTION

All that part lying West of Crow River of the South Half of the Northwest Quarter of Section 13, Township 118, Range 25.

4 1/2 acres of land from Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4) of Section 14, commencing at the Northwest corner of Lot 12; thence North 2 chains and 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to beginning.

The East 20 acres of the West 40 acres of the West end of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), except Lot 8, designated as Lot 9 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), and Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), save and except 4 1/2 acres described commencing at the Southwest corner of Lot 11, thence North 2 chains, 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to the beginning, all in Section 14, Township 118, Range 25.

AND

All that part of Lot 12 of the Northeast Quarter of Section 14, Township 118, Range 25, which lies west of the public road across said Lot 12, Wright County, Minnesota.

Wright County, Minnesota.  
Abstract Property

#### LEGEND

- FOUND 1/2 INCH OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
- SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"
- M.T.A. WOODLAND MEADOWS THIRD ADDITION
- WL WETLAND AS DELINEATED BY KJOLHAUG ON FEBRUARY 4, 2022
- BSL BUILDING SETBACK LINE

#### BENCHMARKS

Benchmark: MnDOT ERIC (GSID Sta.#109594). A metal rod located along the west side of Highway 12 in Delano, north of Rockford Ave. W. Elevation = 918.71 feet (NGVD29).

Site Benchmark: Top Nut of Hydrant located southeast of the 85th St. SE & C.S.A.H. No. 16 intersection as shown hereon. Elevation = 949.81 feet (NGVD29).

#### EXHIBIT C

0 80 160  
SCALE IN FEET

GENERAL NOTES

ENGINEER:	OWNER/DEVELOPER:
Loucks	Backes Development LLC
7200 Hemlock Lane, Suite 300	11413 Ashbury Circle North
Maple Grove, MN 55330	Champlin, MN 55316
763-424-5505	612-369-7750
1. Prepared April 8, 2024.	
2. The address, as disclosed in documents provided to the surveyor, obtained by the surveyor, or observed while conducting the fieldwork is unassigned, together with 8467 County Road 16 SE, Delano, MN 55328, as to Lot 12, lying west of County State Aid Highway No. 16.	
3. The bearings for this survey are based on the Wright County Coordinate System NAD 83 (1986 Adjust).	
4. This property is contained in Zone X (areas of 500 year flood, areas of 100 year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100 year flood), and floodway areas in Zone AE per Flood Insurance Community Panel No. 270534 0044 C, effective date of August 18, 1992.	
5. The field work was completed on March 16, 2022.	
6. All monuments will be set after construction is completed, or within one year of the plat being filed.	
7. The second phase of this plat will be all of Outlot G.	
8. See Sheet 1 for Site Plan and notes.	

LOT DATA - PHASE 1

Block	Lot	Area (Sq.Ft.)	Lot Width @ Front Setback	Front Setback	Rear Setback	Side Street Setback	House Pad Width	House Pad Depth
1	1	13,754	70	30	30	10/15	N/A	45 50
	2	11,990	70	30	30	10	N/A	50 50
	3	11,519	70	30	30	10	N/A	50 50
	4	11,519	70	30	30	10	N/A	50 50
	5	11,519	70	30	30	10	N/A	50 50
	6	11,519	70	30	30	10	N/A	50 50
	7	11,519	70	30	30	10	N/A	50 50
	8	11,519	70	30	30	10	N/A	50 50
	9	14,031	90	30	30	10	N/A	Existing House
	10	13,272	70	30	30	10	N/A	50 50
	11	13,450	70	30	30	10	N/A	50 50
	12	12,198	70	30	30	10	N/A	50 50
	13	11,011	70	30	30	10	N/A	50 50
	14	11,303	72	30	30	10	N/A	50 50
	15	12,531	80	30	35	10	N/A	50 50
	16	14,088	90	30	30	10	30	50 50
2	1	14,535	94	30	30	10	30	50 50
3	1	12,633	90	30	30	10	30	50 50
4	1	12,584	94	30	30	10	30	50 50
	2	11,213	79	30	30	10	N/A	50 50
	3	10,500	70	30	30	10	N/A	50 50
	4	10,500	70	30	30	10	N/A	50 50
	5	10,824	77	30	30	10	N/A	50 50
	6	10,610	89	30	30	10	N/A	50 50
	7	10,610	80	30	30	10	N/A	50 50
	8	10,610	82	30	30	10	N/A	50 50
	9	11,095	84	30	30	10	N/A	50 50
	10	11,082	82	30	30	10	N/A	50 50
	11	11,069	92	30	30	10	N/A	50 50

30 Lots 355,472 sq ft 8.16 ac

OL A	34,693	sq ft	0.80	ac
OL B	58,324	sq ft	1.34	ac
OL C	116,896	sq ft	2.68	ac
OL D	14,322	sq ft	0.33	ac
OL E	6,149	sq ft	0.14	ac
OL F	5,322	sq ft	0.12	ac
OL G	469,472	sq ft	10.78	ac
OL H	584,937	sq ft	13.43	ac

Total Outlots & Lots 1,290,115 sq ft 29.62 ac

New Plat ROW	94,729	sq ft	2.17	ac
CR 16 ROW	121,789	sq ft	2.80	ac
85th St. ROW	27,435	sq ft	0.63	ac
Total ROW	243,953	sq ft	5.60	ac

Total Plat Area - 1,889,540 sq ft 43.38 ac

Minumon lot size Req'd.	Blks. 1-4	10,500	sq ft
Minumon lot size	Blks. 1-4	10,500	sq ft
Average lot size	Blks. 1-4	11,849	sq ft
Minimum lot width	70.0	ft	

Average lot width 77.5 ft

LOT DATA - PHASE 2

Block	Lot	Area (Sq.Ft.)	Lot Width @ Front Setback	Front Setback	Rear Setback	Side Street Setback	House Pad Width	House Pad Depth
5	1	12,006	121	30	30	10	N/A	50 50
	2	11,513	105	30	30	10	N/A	50 50
	3	10,500	70	30	30	10	N/A	50 50
	4	10,500	70	30	30	10	N/A	50 50
	5	10,500	70	30	30	10	N/A	50 50
	6	10,500	70	30	30	10	N/A	50 50
	7	10,500	70	30	30	10	N/A	50 50
	8	10,707	79	30	30	10	N/A	50 50
	9	12,196	90	30	30	10	30	50 50
	10	11,676	73	30	30	10	N/A	50 50
	11	10,516	73	30	30	10	N/A	50 50
	12	10,516	73	30	30	10	N/A	50 50
	13	10,521	73	30	30	10	N/A	50 50
	14	11,035	73	30	30	10	N/A	50 50
6	1	10,611	76	30	30	10	N/A	50 50
	2	10,561	75	30	30	10	N/A	50 50
	3	10,561	75	30	40	10	N/A	50 50
	4	10,561	75	30	40	10	N/A</td	

0 50 100  
SCALE IN FEET

CALL BEFORE YOU DIG!  
Gopher State One Call  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166



LEGEND

EXISTING	PROPOSED
CATCH BASIN	●
STORM MANHOLE	○
FLARED END SECTION	○
SANITARY MANHOLE	●
HYDRANT	●
GATE VALVE	●
POST INDICATOR VALVE	●
WATER MANHOLE/WELL	○
LIGHT POLE	●
POWER POLE	●
ELECTRIC METER	●
TELEPHONE PEDESTAL	●
SIGN	●
BENCHMARK	●
SOIL BORING	●
PARKING STALL COUNT	●
ACCESIBLE PARKING STALL	●
STORM SEWER	→ DT
DRAINTILE	→ DT
SANITARY SEWER	→ I
FORCEMAIN	→ I
WATERMAIN	→ I
SANITARY SEWER SERVICE	→ I
WATER SERVICE	→ I
UNDERGROUND ELECTRIC	→ ELE
UNDERGROUND FIBER OPTIC	→ FO
UNDERGROUND GAS	→ GAS
UNDERGROUND TELEPHONE	→ TEL
OVERHEAD UTILITY	→ OH
FENCE	●
CHAIN LINK FENCE	●
CONCRETE CURB	●
RETAINING WALL	●
CONCRETE	●
NO PARKING	●
BUILDING	●
CONTOUR	●
SPOT ELEVATION	●
DIRECTION OF FLOW	●
TREE LINE	●
PARKING SETBACK LINE	●
BUILDING SETBACK LINE	●

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SUBMITTAL/REVISIONS  
04/05/2024 CD's

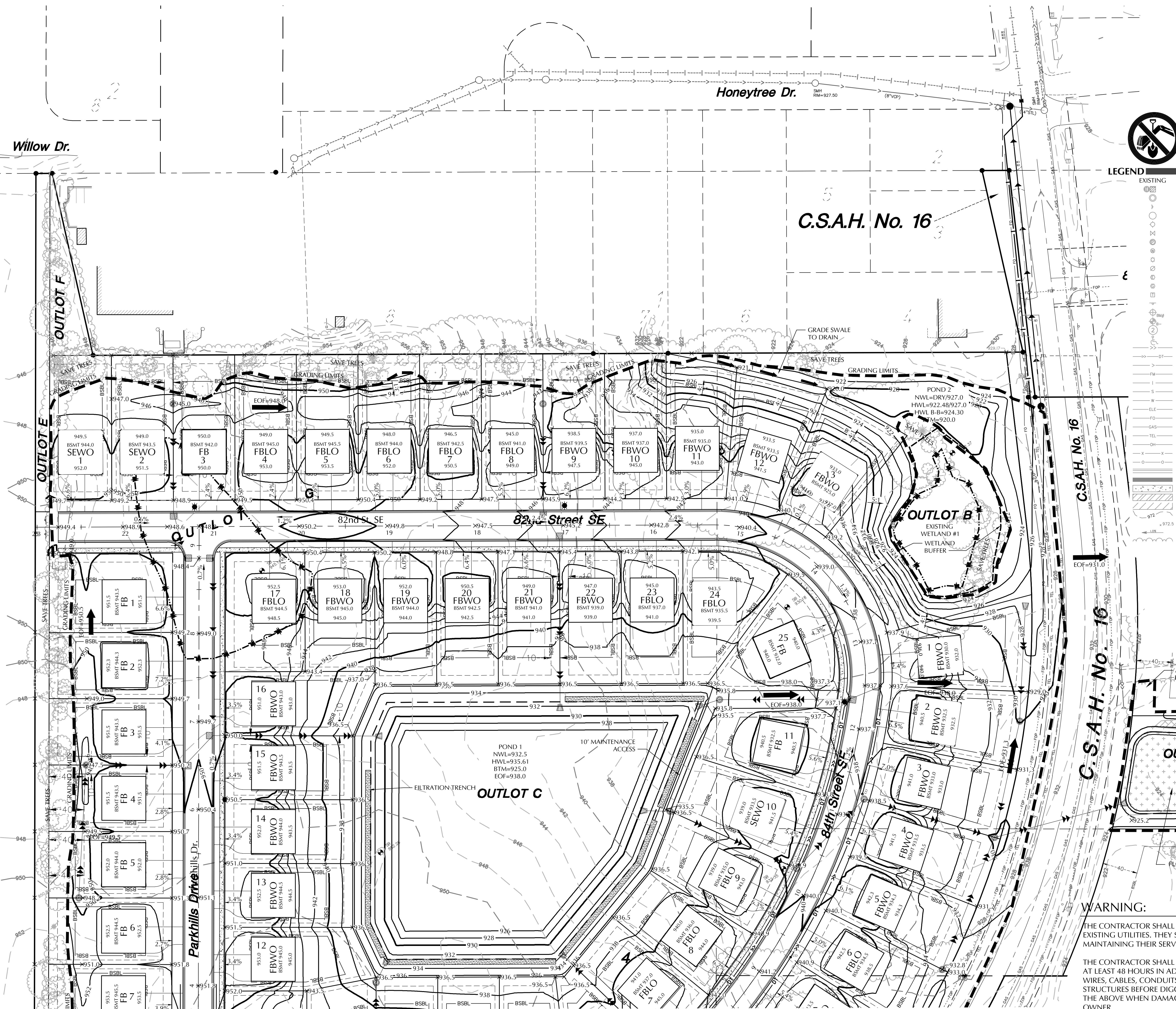
PROFESSIONAL SIGNATURE  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Todd W. McLoone - PE  
License No. 20383  
Date 04/05/2024

QUALITY CONTROL  
Loucks Project No. 21656  
Project Lead TWM  
Drawn By NWC  
Checked By TWM  
Review Date 04/05/2024

SHEET INDEX  
COVER SHEET  
EXISTING CONDITIONS  
SITE PLAN  
C2-1, C2-3  
GRADING PLAN/DETAILS  
C3-1, C3-3  
SWPPP & NOTES  
C4-0  
UTILITY OVERALL  
C4-1, C4-6 SAN.&WATERMAIN PLAN  
C5-1, C5-6 STORM & STREET PLAN  
C8-1, C8-3 DETAILS  
L1-1, L1-3 TREE INVENTORY  
L2-1 LANDSCAPE PLAN  
L3-1 LANDSCAPE DETAILS

GRADING  
PLAN  
C3-1



PARKVIEW  
HILLS NORTH  
DELANO, MINNESOTA

BACKES  
DEVELOPMENT

11413 ASHBURY CIRCLE N.  
CHAMPLIN, MN 55316  
PHONE: (612) 369-7750  
FAX: (612) 566-1525

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CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763.424.5505  
www.loucksinc.com

LEGEND  
EXISTING PROPOSED  
CATCH BASIN  
STORM MANHOLE  
FLARED END SECTION  
SANITARY MANHOLE  
HYDRANT  
GATE VALVE  
POST INDICATOR VALVE  
WATER MANHOLE / WELL  
LIGHT POLE  
POWER POLE  
ELECTRIC METER  
GAS METER  
TELEPHONE PEDESTAL  
SIGN  
BENCHMARK  
SOIL BORING  
PARKING STALL COUNT  
ACCESIBLE PARKING STALL  
STORM SEWER  
DRAINTILE  
SANITARY SEWER  
FORCEMAIN  
WATERMAIN  
SANITARY SEWER SERVICE  
WATER SERVICE  
UNDERGROUND ELECTRIC  
UNDERGROUND FIBER OPTIC  
UNDERGROUND GAS  
UNDERGROUND TELEPHONE  
OVERHEAD UTILITY  
FENCE  
CHAIN LINK FENCE  
CONCRETE CURB  
RETAINING WALL  
CONCRETE  
NO PARKING  
BUILDING  
CONTOUR  
SPOT ELEVATION  
DIRECTION OF FLOW  
TREE LINE  
PARKING SETBACK LINE  
BUILDING SETBACK LINE

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SUBMITTAL/REVISIONS  
04/05/2024 CD'S

PROFESSIONAL SIGNATURE  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Todd W. McLoone - PE  
License No. 20383  
Date 04/05/2024

QUALITY CONTROL  
Loucks Project No. 21656  
Project Lead TWM  
Drawn By NWC  
Checked By TWM  
Review Date 04/05/2024

SHEET INDEX  
C0-1 COVER SHEET  
C1-1 EXISTING CONDITIONS  
C2-1, C2-3 SITE PLAN  
C3-1, C3-3 GRADING PLAN/DETAILS  
C3-4, C3-6 SWPPP & NOTES  
C4-0 UTILITY OVERALL  
C4-1, C4-6 SAN.&WATERMAIN PLAN  
C5-1, C5-6 STORM & STREET PLAN  
C8-1, C8-3 DETAILS  
L1-1, L1-3 TREE INVENTORY  
L2-1 LANDSCAPE PLAN  
L3-1 LANDSCAPE DETAILS

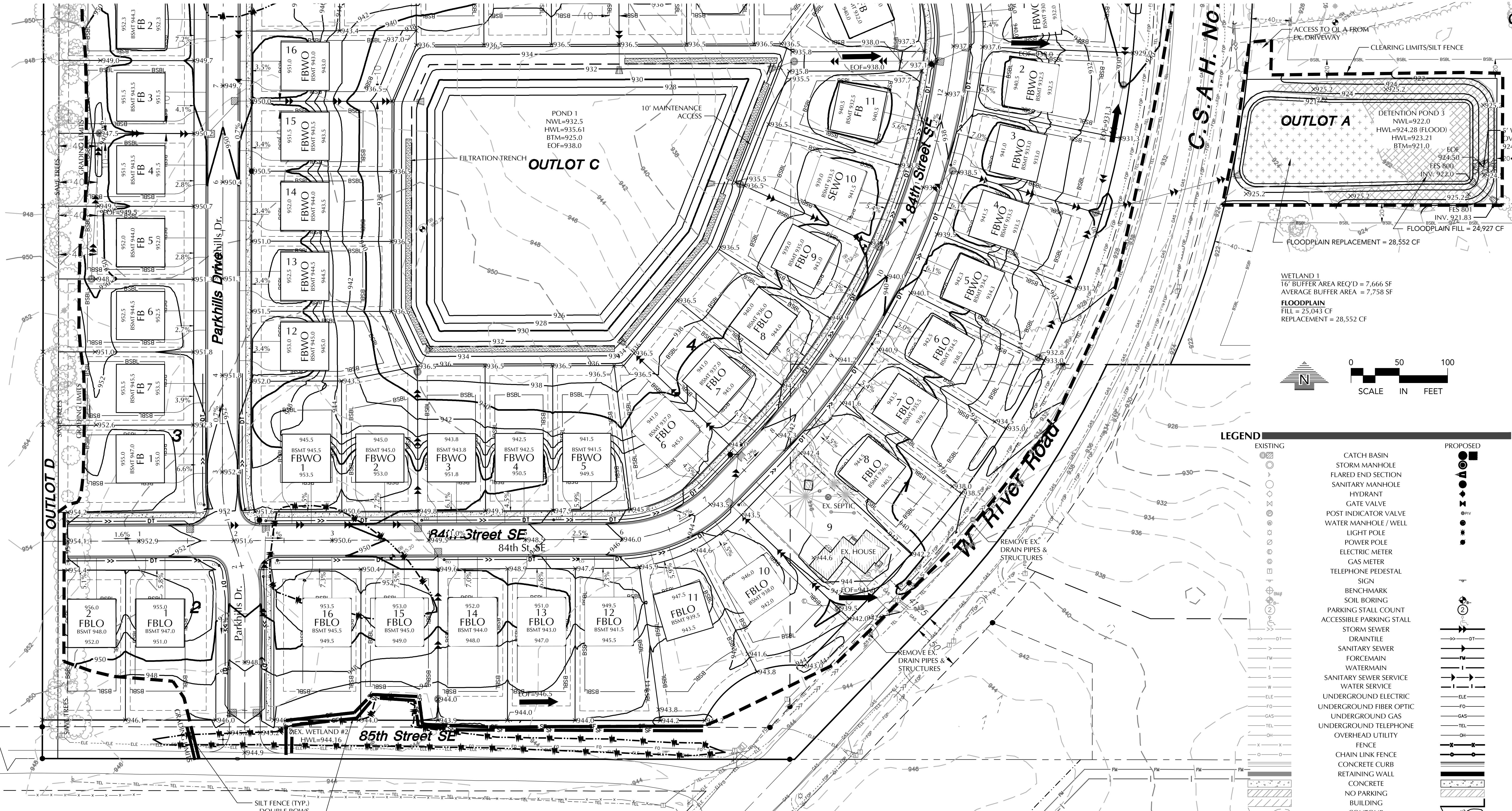
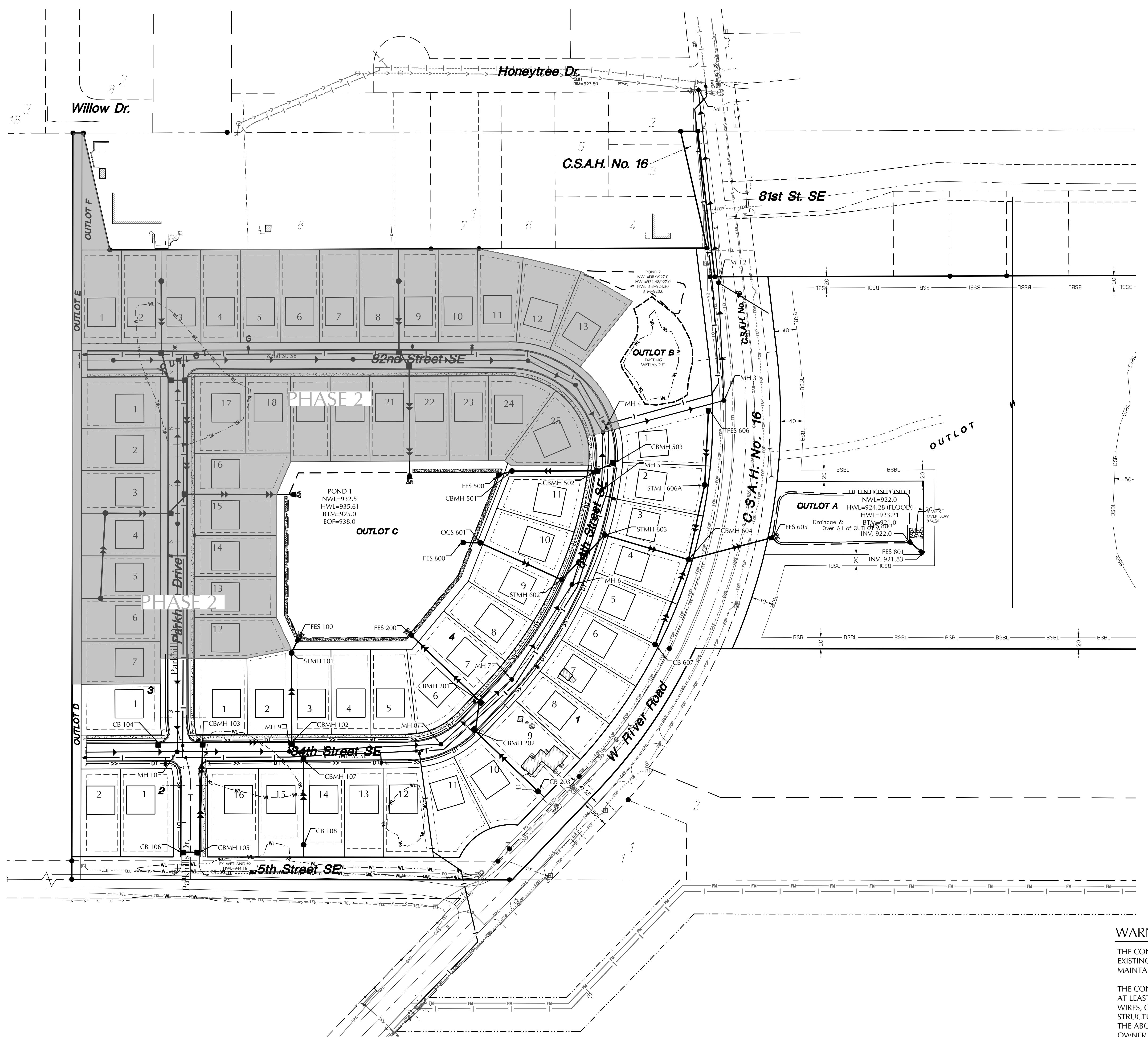


EXHIBIT D- 2

GRADING  
PLAN  
C3-2



The logo for Mackes Development consists of a stylized graphic of a large, rounded tree with a bridge structure visible behind it, all contained within a horizontal bar. Below this graphic, the word "ACKES" is written in a large, bold, serif font. Underneath "ACKES", the word "DEVELOPMENT" is written in a slightly smaller, bold, serif font. The entire logo is rendered in black and white.

## CADD QUALIFICATION

04/05/2024 SUBMITTAL/REVISIONS CD'S

## PROFESSIONAL SIGNATURE

  
Todd W. McLouth - PE

QUALITY CONTROL

Locks Project No.	21656
Project Lead	TWM
Drawn By	NWC
Checked By	TWM
Review Date	04/05/2024

SHEET INDEX	
C0-1	COVER SHEET
C1-1	EXISTING CONDITIONS
C2-1 - C2-3	SITE PLAN
C3-1 - C3-3	GRADING PLAN/DETAILS
C3-4 - C3-6	SWPPP & NOTES
C4-0	UTILITY OVERALL
C4-1 - C4-6	SAN.&WATERMAIN PLAN
C5-1 - C5-6	STORM & STREET PLAN
C8-1 - C8-3	DETAILS
L1-1 - L1-3	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

# EXHIBIT E



CALL BEFORE YOU DIG!

# Gopher State One Call

TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

## WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

# UTILITY PLAN OVERALL C4-0

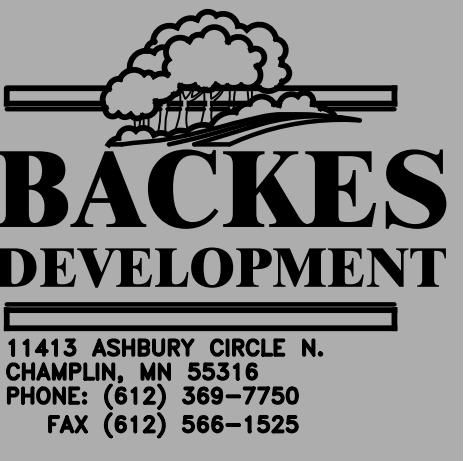


SIGNIFICANT TREE NOTE:  
SIGNIFICANT TREES ARE SHOWN ON THE  
TABLE WITH A SHADED BACKGROUND

EXHIBIT F-2

Tree #	Species	DBH	Condition	Height	Disposition
1	Elm, Siberian	14.0	Good		Saved
2	Boxelder	12.5	Fair		Saved
3	Maple, sugar	6.5	Good		Saved
4	Hackberry	8.0	Good		Saved
5	Cherry, black	8.0	Good		Saved
6	Boxelder	7.0	Fair		Saved
7	Boxelder	7.5	Fair		Saved
8	Elm, American	11.0	Good		Saved
9	Hackberry	14.0	Fair		Saved
10	Hackberry	7.0	Good		Removed
11	Cherry, black	12.0	Fair		Removed
12	Hackberry	22.0	Fair		Removed
13	Elm, red	8.5	Good		Removed
14	Boxelder	20.0	Fair		Removed
15	Elm, American	8.5	Good		Removed
16	Boxelder	10.5	Fair		Removed
17	Boxelder	16.0	Fair		Removed
18	Cottonwood	10.5	Good		Removed
19	Hackberry	7.0	Good		Removed
20	Hackberry	7.0	Good		Saved
21	Boxelder	12.0	Good		Saved
22	Cottonwood	19.0	Good		Saved
23	Boxelder	6.5	Fair		Saved
24	Boxelder	32.0	Fair		Saved
25	Boxelder	7.5	Fair		Saved
26	Hackberry	10.5	Good		Saved
27	Boxelder	7.0	Fair		Saved
28	Boxelder	14.5	Fair		Saved
29	Elm, American	29.0	Good		Saved
30	Boxelder	17.0	Good		Saved
31	Boxelder	9.0	Good		Saved
32	Elm, American	17.0	Good		Saved
33	Boxelder	18.0	Good		Saved
34	Boxelder	14.0	Good		Saved
35	Elm, Siberian	30.0	Fair		Saved
36	Boxelder	17.0	Good		Saved
37	Boxelder	8.0	Good		Saved
38	Boxelder	16.0	Good		Saved
39	Boxelder	11.0	Good		Saved
40	Elm, American	11.5	Good		Saved
41	Boxelder	7.0	Fair		Saved
42	Boxelder	17.0	Good		Saved
43	Boxelder	10.0	Fair		Saved
44	Boxelder	7.5	Good		Saved
45	Boxelder	9.5	Good		Saved
46	Ash, green	14.0	Good		Saved
47	Boxelder	14.5	Good		Saved
48	Boxelder	9.5	Good		Saved
49	Boxelder	9.0	Good		Saved
50	Boxelder	12.0	Good		Saved
51	Boxelder	9.0	Good		Saved
52	Boxelder	6.5	Good		Saved
53	Ash, green	33.0	Fair		Saved
54	Hackberry	7.0	Good		Saved
55	Hackberry	8.5	Good		Saved
56	Elm, Siberian	10.0	Fair		Saved
57	Boxelder	8.0	Fair		Saved
58	Hackberry	11.0	Good		Saved
59	Redcedar	3.5	Good	15	Saved
60	Hackberry	10.0	Good		Saved
61	Elm, American	34.0	Fair		Saved
62	Ash, green	17.0	Good		Saved
63	Hackberry	12.0	Good		Saved
64	Boxelder	10.0	Fair		Saved
65	Boxelder	8.5	Good		Saved
66	Ash, green	6.0	Fair		Saved
67	Ash, green	9.0	Good		Saved
68	Elm, American	21.0	Good		Saved
69	Elm, American	22.0	Fair		Saved
70	Boxelder	7.0	Good		Saved
71	Boxelder	10.0	Good		Saved
72	Boxelder	9.0	Fair		Saved
73	Elm, American	12.5	Good		Saved
74	Boxelder	16.0	Fair		Removed
75	Boxelder	16.5	Fair		Removed
76	Boxelder	7.0	Fair		Removed
77	Boxelder	11.0	Good		Removed
78	Boxelder	23.0	Good		Removed
79	Boxelder	20.0	Fair		Removed
80	Boxelder	8.0	Good		Removed
81	Maple, silver	56.0	Fair		Removed
82	Elm, American	12.0	Good		Saved
83	Boxelder	19.0	Fair		Removed
84	Maple, silver	26.0	Fair		Removed
85	Maple, silver	8.5	Good		Saved
86	Boxelder	7.5	Good		Saved
87	Maple, silver	14.0	Good		Saved
88	Elm, American	6.0	Fair		Saved
89	Boxelder	12.0	Fair		Saved
90	Boxelder	9.0	Good		Saved
91	Boxelder	7.0	Good		Saved
92	Boxelder	9.0	Good		Saved
93	Ash, green	8.0	Good		Saved
94	Boxelder	6.0	Good		Saved
95	Boxelder	13.0	Good		Saved
96	Boxelder	13.5	Good		Saved
97	Boxelder	21.0	Good		Saved
98	Ash, green	9.0	Good		Saved
99	Boxelder	9.0	Good		Saved
100	Elm, Siberian	18.0	Fair		Saved
101	Maple, silver	28.0	Fair		Saved
102	Boxelder	10.0	Fair		Saved
103	Boxelder	8.0	Fair		Saved
104	Maple, silver	13.0	Good		Saved
105	Boxelder	7.0	Fair		Saved
106	Boxelder	7.0	Good		Saved
107	Boxelder	8.0	Good		Saved
108	Boxelder	9.5	Good		Saved

Tree #	Species	DBH	Condition	Height	Disposition
109	Boxelder	8.0	Good		Saved
110	Boxelder	7.0	Good		Saved
111	Boxelder	7.0	Good		Saved
112	Boxelder	8.0	Fair		Saved
113	Maple, silver	11.0	Fair		Saved
114	Maple, silver	8.0	Good		Saved
115	Maple, silver	13.5	Good		Saved
116	Boxelder	6.5	Good		Saved
117	Maple, silver	23.0	Fair		Saved
118	Maple, silver	11.0	Fair		Saved
119	Maple, silver	18.0	Fair		Saved
120	Maple, silver	30.0	Fair		Saved
121	Boxelder	14.0	Fair		Saved
122	Elm, Siberian	7.0	Fair		Saved
123	Boxelder	8.5	Good		Saved
124	Boxelder	9.0	Good		Saved
125	Boxelder	18.0	Fair		Saved
126	Boxelder	9.5	Good		Saved
127	Boxelder	8.0	Good		Saved
128	Ash, green	8.0	Fair		Saved
129	Ash, green	6.5	Fair		Saved
130	Ash, green	9.0	Good		Saved
131	Hackberry	13.0	Good		Saved
132	Boxelder	9.5	Good		Saved
133	Boxelder	14.5	Good		Saved
134	Elm, Siberian	6.5	Good		Removed
135	Elm, Siberian	19.0	Fair		Removed
1					



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SUBMITTAL/REVISIONS  
04/05/2024 CD'S

PROFESSIONAL SIGNATURE  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Daniel C. Reback  
Daniel C. Reback - LA  
License No. 56877  
Date 4/5/2024

QUALITY CONTROL  
Loucks Project No. 21656  
Project Lead TWM  
Drawn By GAJ  
Checked By GAJ  
Review Date 04/13/22

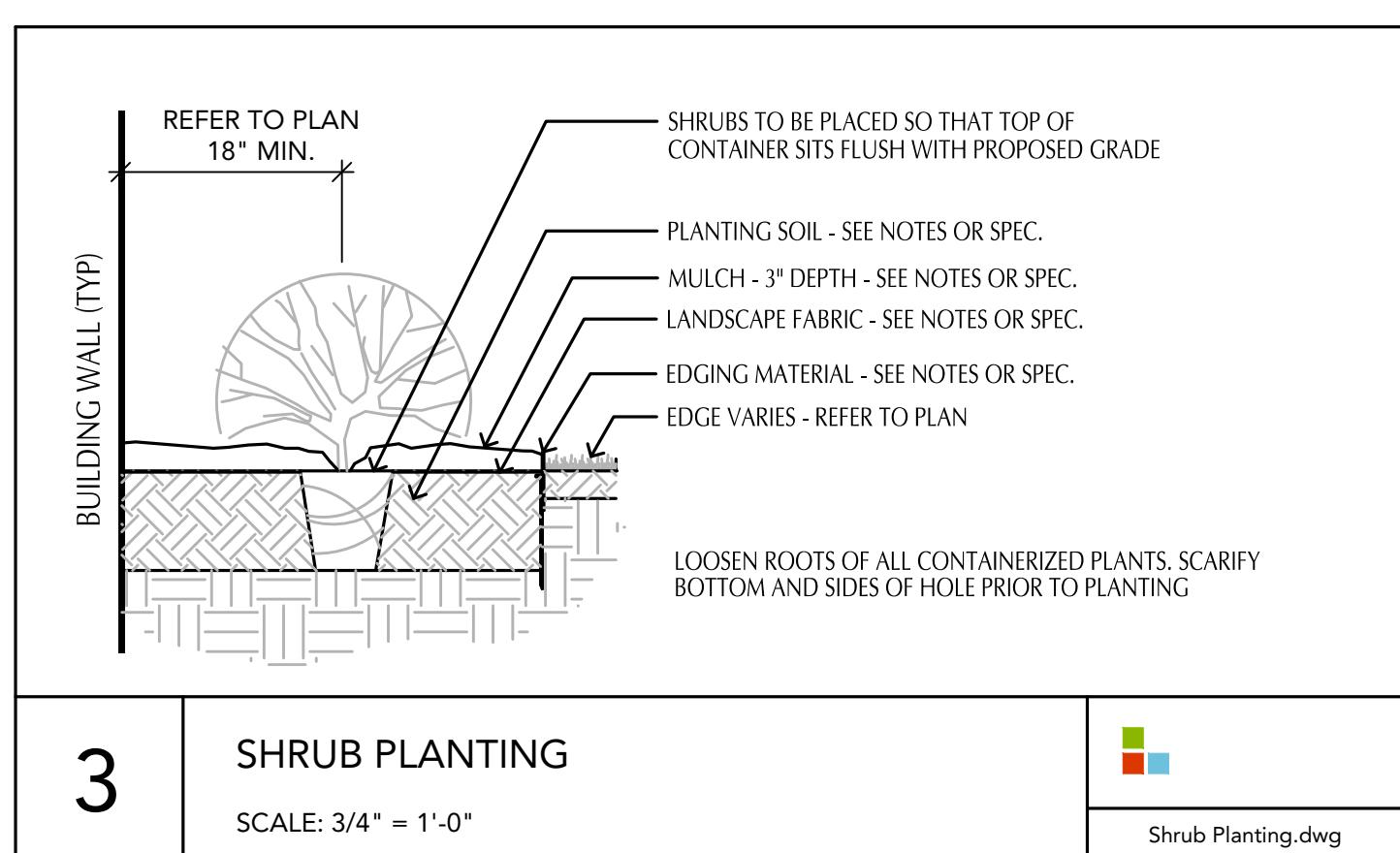
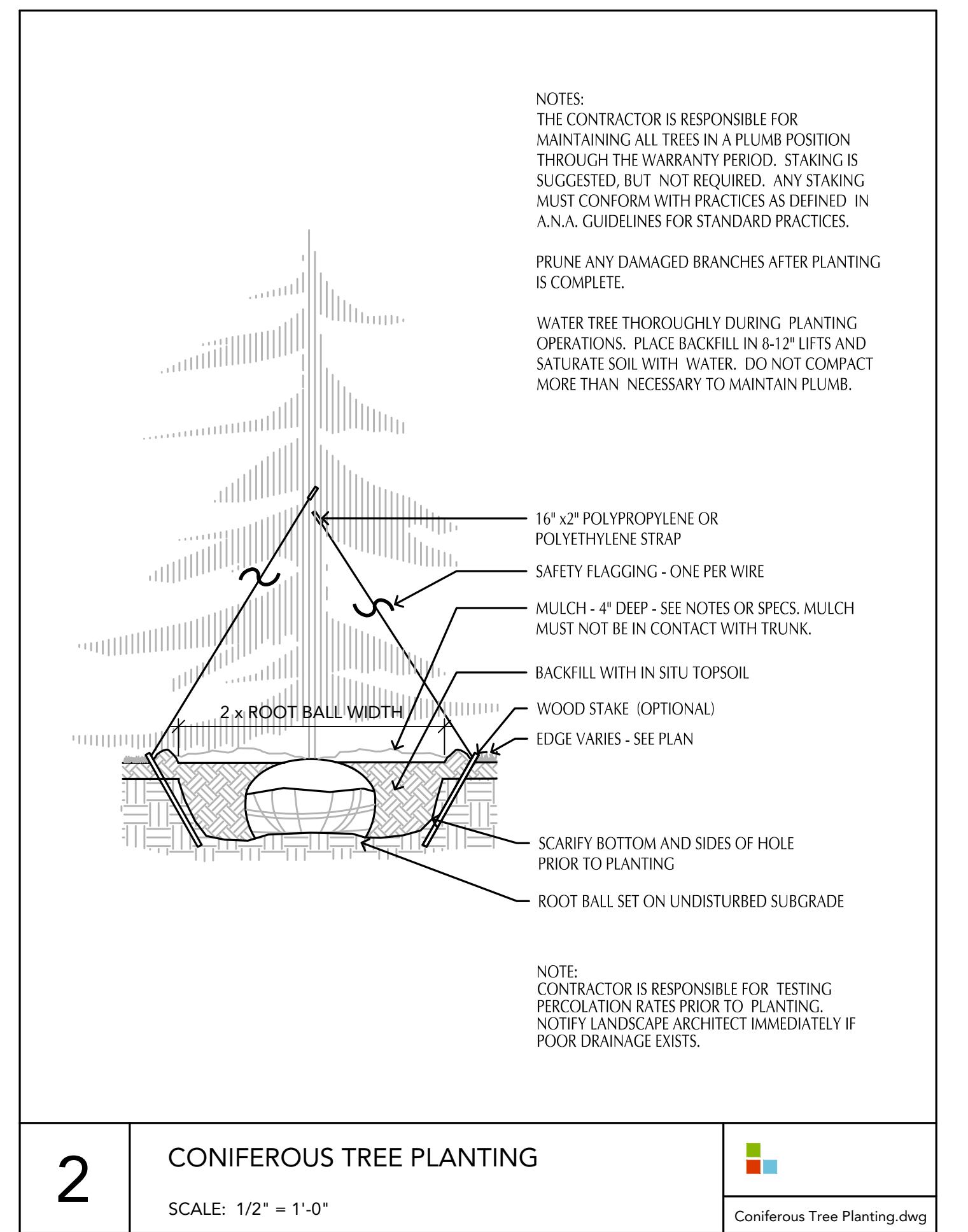
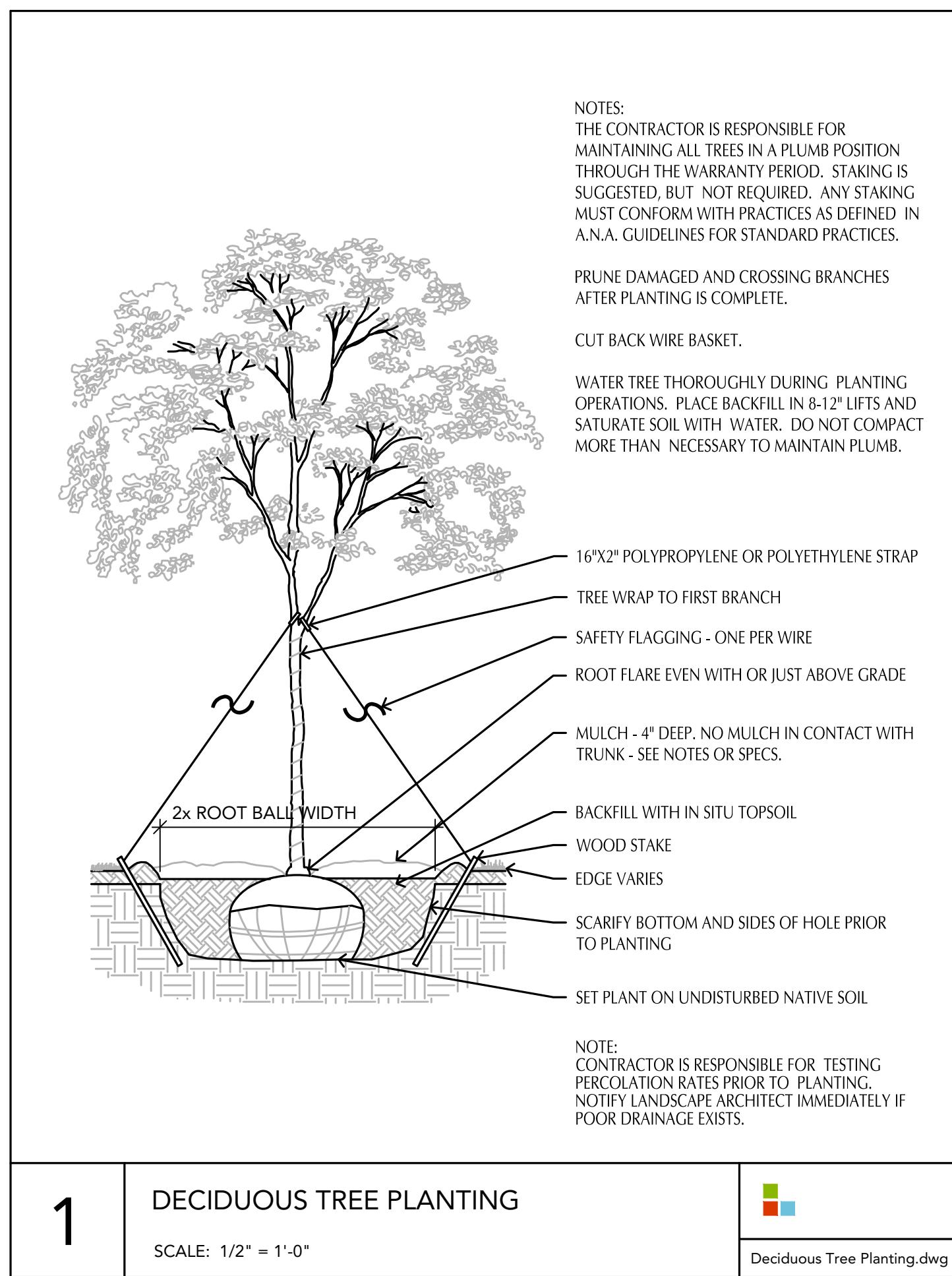
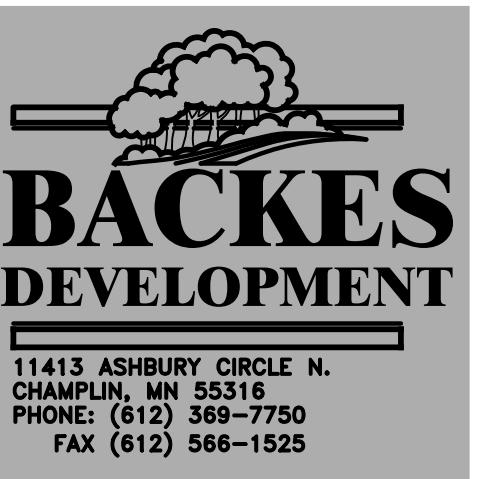
SHEET INDEX  
C0-1 COVER SHEET  
C1-1 EXISTING CONDITIONS  
C2-1, C2-3 SITE PLAN  
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C5-1, C5-4 STORM & STREET PLAN  
C8-1, C8-3 DETAILS  
L1-1, L1-3 TREE INVENTORY  
L2-1 LANDSCAPE PLAN  
L3-1 LANDSCAPE DETAILS

Tree #	Species	DBH	Condition	Height	Disposition
534	Cherry, black	12.0	Fair		Removed
535	Oak, bur	16.5	Good		Saved
536	Ash, green	11.0	Good		Removed
537	Ash, green	6.0	Good		Removed
538	Redcedar	6.0	Good	30	Removed
539	Ash, green	10.5	Good		Removed
540	Oak, bur	19.5	Good		Saved
541	Oak, bur	9.0	Fair		Saved
542	Oak, bur	8.0	Good		Saved
543	Oak, bur	7.5	Good		Saved
544	Oak, bur	9.0	Fair		Saved
545	Oak, bur	9.5	Good		Saved
546	Ash, green	7.0	Fair		Saved
547	Ash, green	8.0	Good		Removed
548	Hackberry	6.5	Good		Removed
549	Oak, bur	13.0	Fair		Removed
550	Cottonwood	27.0	Good		Saved
551	Willow	25.0	Good		Saved
552	Cottonwood	54.0	Good		Saved
553	Elm, Siberian	7.0	Good		Saved
554	Oak, red	16.0	Good		Saved
555	Ash, green	9.0	Fair		Saved
556	Cottonwood	13.5	Good		Saved
557	Cottonwood	9.0	Fair		Saved
558	Cottonwood	13.0	Good		Saved
559	Cottonwood	16.5	Good		Saved
560	Oak, red	12.5	Good		Saved
561	Cottonwood	7.5	Good		Saved
562	Elm, American	6.0	Good		Saved
563	Cottonwood	8.0	Good		Saved
564	Cottonwood	8.5	Good		Saved
565	Aspen	8.5	Good		Saved
566	Cottonwood	29.0	Good		Saved
567	Cottonwood	7.0	Good		Saved
568	Elm, American	12.5	Good		Saved
569	Boxelder	14.5	Fair		Saved
570	Boxelder	13.0	Fair		Saved
571	Boxelder	10.5	Good		Saved
572	Boxelder	10.5	Good		Saved
573	Boxelder	10.5	Fair		Saved
574	Boxelder	11.5	Good		Saved
575	Boxelder	15.5	Good		Saved
576	Boxelder	25.0	Fair		Saved
577	Boxelder	9.0	Good		Saved
578	Elm, American	8.5	Good		Saved
579	Maple, silver	9.0	Good		Saved
580	Maple, silver	13.5	Good		Saved
581	Maple, silver	8.5	Good		Saved
582	Maple, silver	9.5	Good		Saved
583	Maple, silver	26.0	Fair		Saved
584	Maple, silver	15.5	Fair		Saved
585	Maple, silver	18.0	Fair		Saved
586	Maple, silver	27.0	Fair		Saved
587	Maple, silver	21.0	Good		Saved
588	Maple, silver	10.0	Good		Saved
589	Maple, silver	9.0	Good		Saved
590	Elm, American	6.5	Good		Saved
591	Ash, green	9.0	Good		Saved
592	Elm, American	15.5	Good		Saved
593	Maple, silver	6.0	Good		Saved
594	Maple, silver	6.5	Good		Saved
595	Maple, silver	19.5	Fair		Saved
596	Ash, green	7.0	Good		Saved
597	Ash, green	6.5	Good		Saved
598	Maple, silver	12.0	Good		Saved
599	Maple, silver	12.0	Fair		Saved
600	Maple, silver	13.0	Good		Saved

Tree #	Species	DBH	Condition	Height	Disposition
601	Maple, silver	10.0	Good		Saved
602	Maple, silver	8.0	Good		Saved
603	Maple, silver	13.0	Fair		Saved
604	Elm, American	7.5	Good		Saved
605	Elm, American	8.0	Good		Saved
606	Maple, silver	6.5	Good		Saved
607	Maple, silver	9.5	Good		Saved
608	Maple, silver	6.5	Good		Saved
609	Maple, silver	6.0	Good		Saved
610	Maple, silver	7.0	Good		Saved
611	Maple, silver	9.0	Good		Saved
612	Elm, American	7.5	Good		Saved
613	Hackberry	11.5	Good		Saved
614	Boxelder	9.5	Fair		Saved
615	Boxelder	10.0	Fair		Saved
616	Boxelder	14.0	Fair		Saved
617	Ash, green	7.0	Good		Saved
618	Ash, green	15.0	Good		Saved
619	Redcedar	7.5	Fair	40	Saved
620	Redcedar	7.0	Good	40	Saved
622	Redcedar	6.0	Fair	40	Saved
623	Redcedar	10.0	Good	45	Saved
624	Aspen	6.5	Good		Saved
625	Aspen	7.5	Good		Saved
626	Aspen	8.5	Good		Saved
628	Elm, American	9.0	Good		Saved
629	Aspen	7.0	Good		Saved
630	Aspen	6.0	Good		Saved
631	Redcedar	5.0	Good	22	Saved
632	Redcedar	6.0	Good	20	Saved
633	Elm, American	21.5	Fair		Saved
634	Redcedar	3.5	Good	20	Saved
635	Redcedar	4.0	Good	20	Saved
636	Redcedar	4.0	Good	20	Saved
637	Willow	13.5	Good		Saved
638	Willow	10.5	Good		Saved
640	Willow	9.5	Good		Saved
641	Elm, American	6.5	Good		Saved
642	Ash, green	6.5	Good		Saved
643	Elm, American	6.0	Good		Saved
644	Ash, green	7.0	Good		Saved
645	Willow	8.0	Fair		Saved
646	Ash, green	11.5	Good		Saved
647	Elm, American	8.0	Good		Saved
648	Ash, green	13.5	Good		Saved
649	Willow	20.0	Fair		Saved
650	Willow	14.0	Fair		Saved
651	Mulberry	12.0	Fair		Saved
652	Boxelder	12.0	Fair		Saved
653	Ash, green	7.0	Good		Saved
654	Boxelder	7.0	Good		Saved
655	Boxelder	6.5	Good		Saved
656	Boxelder	9.0	Good		Saved
657	Elm, American	7.0	Good		Saved
658	Ash, green	6.0	Good		Saved
659	Ash, green	6.0	Good		Saved
660	Boxelder	13.5	Fair		Saved
661	Ash, green	10.5	Good		Saved
662	Ash, green	13.5	Good		Saved
663	Boxelder	11.5	Fair		Saved
664	Ash, green	7.0	Good		Saved
665	Ash, green	10.0	Good		Saved
666	Ash, green	12.5	Good		Saved
667	Hackberry	6.0	Good		Saved
668	Boxelder	14.0	Fair		Saved
669	Ash, green	7.0	Good		Saved
670	Ash, green	10.5	Good		Saved
671	Ash, green	15.5	Good		Saved

SIGNIFICANT TREE NOTES:  
SIGNIFICANT TREES ARE SHOWN ON THE TABLE WITH A SHADED BACKGROUND  
SITE AREA EAST OF CTY. RD. 16 SE IS WOODED, TREE INVENTORY LIST SHOWN IS A 10% SAMPLING OF THE SIGNIFICANT TREES.  
SAMPLING SHOWS 55 TREES, TOTAL NUMBER OF SIGNIFICANT TREES EAST OF CTY. RD. 16 SE IS CALCULATED TO BE 550.





LANDSCAPE INSTALLATION:

GENERAL NOTES

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

PROTECT ALL EXISTING TREES ON SITE SCHEDULED TO REMAIN. IF EXISTING TREES ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING.

SOIL & GROUNDCOVER

ALL SEEDED AREAS SHALL RECEIVE (4) INCHES OF BLACK DIRT AND BE THOROUGHLY TILLED INTO THE SUB-GRADE TO A MINIMUM DEPTH OF (7) INCHES.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SOD SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

LANDSCAPE CONTRACTOR SHALL VERIFY THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

PLANTINGS INFO

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROCHETS AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

FERTILIZER

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

PLANTING BED PREPARATION

ALL TREES NOT IN PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH RING WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

INSPECTION AND WARRANTY

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TIMING OF INSTALLATION

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

TREES ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

CADD QUALIFICATION  
CADD files prepared by the Consultant for this project are submitted to the Contractor for review and approval only with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion or modification of this project. The Contractor, with the Consultant, With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for internal use only. The Contractor shall be responsible for any revisions, additions, or deletions to these CADD files shall be reviewed by the Consultant and the Consultant shall be responsible for any and all responsibilities, claims, and liabilities of Consultant from any and all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS  
04/05/2024 CD'S

IRRIGATION/WATERING NOTES:  
IRRIGATION IS NOT PLANNED FOR THIS SITE. FOR THE HEALTH AND SURVIVAL OF ALL PROPOSED PLANTINGS, REGULAR WATERING OF THE PLANTINGS IS RECOMMENDED.

FOR ESTABLISHMENT OF PLANTINGS, THE CONTRACTOR IS TO REGULARLY WATER NEWLY INSTALLED PLANTINGS DURING PROJECT CONSTRUCTION. CONTRACTOR TO PROVIDE OWNER WITH WATERING RECOMMENDATIONS OR WATERING CONTRACT FOR THE 1 YEAR WARRANTY PERIOD.

EXHIBIT G-2

PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE
<b>DECIDUOUS TREES</b>						
AB	18	AUTUMN BLAZE MAPLE	Acer freemanii 'Autumn Blaze'	B & B	2.5" Cal	
CH	16	COMMON HACKBERRY	Celtis occidentalis	B & B	2.5" Cal	
GL	18	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	B & B	2.5" Cal	
NP	15	NORTHERN PIN OAK	Quercus ellipsoidalis	B & B	2.5" Cal	
QA	14	QUAKING ASPEN	Populus tremuloides	25 gal		
RB	21	RIVER BIRCH CLUMP	Betula nigra	B & B		8' HGT
SGM	28	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5" Cal	
SKH	17	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skyline'	B & B	2.5" Cal	
OB	19	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal	
<b>EVERGREEN TREES</b>						
BS	27	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B		6' HGT
<b>ORNAMENTAL TREES</b>						
ABS	30	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier x grandiflora 'Autumn Brilliance'	B & B	2" Cal	
CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3 SPACING
<b>SHRUBS</b>						
Rd	26	RED TWIG DOGWOOD	Cornus sericea 'Bailey'	5 gal	24" HGT	96" o.c.
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME		
<b>GROUND COVERS</b>						
	Seed 1	614,624 sf	COVER CROP SEED MIX MNDOT 22-112 - 2 to 5 YEARS COVER 40 LBS. PER ACRE			
	Seed 2	19,168 sf	PRairie SEED MIX BWSR 35-441 MESIC PRAIRIE NORTHWEST 36.5 LBS. PER ACRE			

LANDSCAPE DETAILS  
L3-1

# PARKVIEW HILLS NORTH

**KNOW ALL PERSONS BY THESE PRESENTS:** That Backes Development, LLC, a Minnesota Limited Liability Company, fee owner of the following described property:

All that part lying West of Crow River of the South Half of the Northwest Quarter of Section 13, Township 118, Range 25.

AND

4 1/2 acres of land from Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4) of Section 14 Township 118, Range 25, commencing at the Northwest corner of Lot 12; thence North 2 chains and 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to beginning.

AND

The East 20 acres of the West 40 acres of the West end of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), except Lot 8, designated as Lot 9 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), and Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), save and except 4 1/2 acres described commencing at the Southwest corner of Lot 11, thence North 2 chains, 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to the beginning, all in Section 14, Township 118, Range 25.

AND

All that part of Lot 12 of the Northeast Quarter of Section 14, Township 118, Range 25, which lies west of the public road across said Lot 12.

Has caused the same to be surveyed and platted as PARKVIEW HILLS NORTH, and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Backes Development, LLC, a Minnesota Limited Liability Company, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.  
BACKES DEVELOPMENT, LLC

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name, Title

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, by \_\_\_\_\_, as \_\_\_\_\_ of Backes Development, LLC, a Minnesota Limited Liability Company, on behalf of the company.

\_\_\_\_\_  
Signature  
Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

\_\_\_\_\_  
Printed Name, Notary

## SURVEYORS CERTIFICATION

I Max L. Stanislowski do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.  
\_\_\_\_\_  
Max L. Stanislowski, Licensed Land Surveyor  
Minnesota License No. 48988

STATE OF MINNESOTA  
COUNTY OF HENNEPIN

The foregoing Surveyor's Certificate was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, by  
Max L. Stanislowski, Land Surveyor, Minnesota License No. 48988.

\_\_\_\_\_  
Signature  
Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

\_\_\_\_\_  
Printed Name, Notary

## DELANO PLANNING COMMISSION

Be it known that at a meeting held on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, the Planning Commission of the City of Delano, Minnesota, did hereby approve this plat of PARKVIEW HILLS NORTH.

By: \_\_\_\_\_, Chairperson

## CITY COUNCIL, CITY OF DELANO, MINNESOTA

This plat of PARKVIEW HILLS NORTH was approved and accepted by the City Council of the City of Delano, Minnesota, at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

By: \_\_\_\_\_, Mayor By: \_\_\_\_\_, Clerk

## WRIGHT COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.  
\_\_\_\_\_  
By: \_\_\_\_\_  
Wright County Surveyor

## WRIGHT COUNTY LAND RECORDS

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable for the year 20\_\_\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.  
\_\_\_\_\_  
By: \_\_\_\_\_  
Wright County Land Records Administrator

## WRIGHT COUNTY RECORDER

I hereby certify that this instrument was filed in the office of the County Recorder for record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ A.M., and was duly recorded in Cabinet No. \_\_\_\_\_, Sleeve \_\_\_\_\_, as Document No. \_\_\_\_\_.  
\_\_\_\_\_  
By: \_\_\_\_\_  
Wright County Recorder By: \_\_\_\_\_  
Deputy

**EXHIBIT H-1**

