



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422
Telephone: 763.957.1100 Website: www.nacplanning.com

MEMORANDUM

TO: Phil Kern
FROM: Alan Brixius
DATE: May 8, 2024
RE: Delano - Parkview Hills North - 2024 Preliminary Plat / Final
FILE NO: 432.07 - 24.04

BACKGROUND

In July of 2022, the City Council approved a R-3 Single Family Residential zoning district and a preliminary plat with conditions for Backes Development, LLC for 64-lot single family residential subdivision entitled "Parkview Hills North." The proposed subdivision overlays 44-acres of land located south of the City limits, east and west of County Road 16.

The approved preliminary plat was conditioned on the resolution of a property line dispute along the western boundary of the plat. Additionally, the applicant wishes to eliminate the direct street access to County Road 16. These changes to the plat design require the submission of a new preliminary plat. The current application requests preliminary plat and a final plat approval for the first phase of development.

The balance of this report evaluates the preliminary plat against City Code requirements and the previous 2022 conditions for approval.

To accommodate the project, the following approvals are necessary:

1. Preliminary plat of Parkview Hills North consisting of 64 single family lots and 7 outlots.
2. Final plat of Parkview Hills North consisting of 30 single family lots and 8 outlots.

Attached for reference:

Exhibit A - Site Location
Exhibit B - Existing Conditions
Exhibit C - Preliminary Plat
Exhibit D - Grading Plan

Exhibit E - Utility Plan
 Exhibit F - Tree Inventory
 Exhibit G - Landscape Plan
 Exhibit H – Final Plat

ISSUES AND ANALYSIS

ZONING

As noted, The City Council approved the R-3 zoning for the western portion of the Parkview Hills North plat in 2022. This zoning is consistent with the 2040 Delano Comprehensive Plan which guided this land for Low to Medium residential land uses.

PRELIMINARY PLAT

Existing Conditions. Exhibit B illustrates the site's existing conditions. The site contains wetlands, woodlands and 100-year flood fringe.

1. The plan proposes to mitigate the existing wetlands. The plat needs WCA approval of a Wetland Mitigation plan. The plat shall be revised to meet all conditions of WCA approval.
2. The Applicant has provided a tree inventory and a tree preservation plan. Tree preservation areas have been designated along the plat's western and northern boundaries. The tree inventory indicates that the approximately 50% of the existing trees will be saved within both East and West portions of the plat. The majority of the existing trees within the site consists of low-quality trees (Boxelder, Willow, Cottonwood, Siberian Elm and Silver Maple). The table below is a summary of the tree inventory.

	Total Trees		Significant Trees*		Saved Trees		Removed Trees	
Western Parcel	533	100%	120	22.5%	205	38.5%	328	61.5%
Eastern Parcel	137	100%	50	36.5%	129	94.2%	8	5.8%
Total Plat Trees	671	100%	170	25.3%	334	49.9%	336	50.1%

The tree preservation plan is acceptable provided that the tree preservation measures are installed and are in place before site grading begins.

3. The plat identifies the 100-year flood fringe. The flood fringe is being platted within outlots. The only improvements within the flood fringe will be storm water ponding, trails, and a future driveway improvement to access the buildable area within Outlot H. Beyond these improvements the flood fringe will be zoned FF-2 district and no other improvements will be allowed that may reduce the flood storage capacity within the flood fringe.

Streets. As shown on the preliminary plat drawing, the subject site is to be accessed via 85th Street. The following streets are impacted by the proposed subdivision.

County Road 16 is designated as a minor arterial street in the Delano 2040 Comprehensive plan. The plat abuts County Road 16. Wright County requires dedication of 60 feet of right-of-way from the centerline of County Road 16 on both sides of the street. The preliminary and final plat shows this dedication and the provision of right-of-way for a roundabout at County Road 16 and 85th Street intersection.

With the plat, the developer shall install turn lanes and bypass lanes on County Road 16 at 85th Street as may be required by Wright County.

85th Street is designated as a Major Collector in the Delano Comprehensive Plan. The required right-of-way dedication for 85th Street will be 80 feet in total width. The preliminary plat provides the required 40 feet of right-of-way for the north side of 85th Street. The City Engineer has determined the construction costs for improving 85th Street to an urban major collector design and estimated the benefitted service area to allocate the costs. The developer shall be required to pay their proportional share of costs for the 85th Street improvements.

Local Streets. The plat shows access via 85th street and circular street pattern through the plat. The local streets are platted with 60-foot-wide rights-of-way consistent with City requirements. The street layout includes two street stubs extended to the plats western boundary providing future street access at such time when neighboring properties develop.

In review of the street layout, the following conditions are recommended as conditions of preliminary plat and final plat approval:

1. The alignment of Parkhills Drive and 84th Street SE is not an aligned intersection. The plat must be redesigned to provide an aligned full intersection. Street plans shall be subject to the review and approval of the City Engineer.
2. The streets shall be named in accordance with the City's Street naming policy.
3. Streetlights and traffic control signs shall meet City design standards and related installation costs shall be borne by the subdivision.
4. The final plat shows the extension of 84th Street north for 1040 feet. The plat and development plans must illustrate the provision of a temporary cul-de-sac.

Lots. Within the applicable R-3 zoning district, the following minimum lot requirements apply:

	Requirement
Minimum Lot Area (Interior)	10,500 square feet
Minimum Lot Area (Corner)	12,000 square feet
Minimum Lot Width (Interior)	70 feet
Minimum Lot Width (Corner)	90 feet
Minimum Lot Depth	135 / 155 feet

While all proposed lots have been found to meet minimum R-3 District requirements. However, in review of the lot layout we offer the following comments on the configurations on number of lots.

Block 4, Lot 6. This is a triangular lot, with a narrow rear yard. The rear lot line shall be straightened between Lots 5 and 7. Property demarcation posts shall be required at the rear lot corners to designate lot boundary between the lots and outlot C.

Block 5, Lots 1 and 2. These are triangular lots, with narrow rear yards. Property demarcation posts shall be required at the lot corners to designate lot boundary between the rear lots and outlot C and clearly define the boundaries of these lots.

Block 5, Lot 14. Straighten south lot line of Lot 14 through Lot 2, to avoid future lot line disputes.

Lots in Block 6 and 7 all exceed the lot size standards. These lots have additional lot depth in an effort to preserve trees along the west and north plat boundaries. The Grading plan (Exhibit E) shows drainage swales across rear lots to catch basins. The location of these swales runs through the rear yards of these lots between the building pads and the tree preservation area. These swales must be located within a drainage and utility easement to prevent alterations that may impede the approved drainage patterns. The swale and easement will limit the ability to use the rear yard. No sheds, decks, fences, or filling may be allowed within the easement that may obstruct the approved drainage patterns in Block 6 and 7. The plat must be revised to establish the needed drainage and utility easement over the drainage swale. As a condition of plat approval easement restrictions shall be included as deed covenants and in the sales materials for these impacted lots.

Lots within Blocks 1 and 2 of the preliminary plat, which border arterial and major collector roadways are required to provide a buffer yard along the rear lot lines. (County Road 16 is designated as a “minor arterial” street while 85th Street is a designated “major collector” street). Thus, such lots must provide an additional 20 feet of lot depth to accommodate a landscaped buffer yard. Appropriately, lot depths of 155 feet have

been provided for lots which abut County Road 16 and 85th Street. In examining the grading and landscape plan the following issues are presented.

1. The grading plan shows a storm sewer along the rear lot lines of lot 1 – 5. This will not allow buffer yard plantings within the lots.
2. The Landscape plan shows the buffer yard planting within County Road 16 right-of-way. This is not acceptable in that the landscaping is outside the plat.
3. The house pad will be 2 to 4 feet higher than the rear lot line elevation. This will reduce the effectiveness of the 6-foot-tall coniferous trees as screen.

To address the aforementioned concerns the following recommendations are offered recommendations.

1. The Storm sewer shall be shifted to the rear lot lines of Block 1.
2. All buffer yard landscaping shall be located within the rear yards of the lots. Maintenance of the landscaped buffer yards shall be the responsibility of the future lot owners.
3. Landscaping shall be coordinated with the grading plan to maximize the screen effectiveness.
4. Drainage and utility easements shall cover the rear yard drainage swales.

Setbacks. Within R-3 zoning districts, the following setbacks apply:

	Requirement
Front Yard	30 feet
Side Yard (Interior)	10 feet
Side Yard (Corner)	20 feet
Rear Yard	25 feet

All illustrated house pads demonstrate an ability to meet the preceding R-3 District setback requirements.

To be noted is that the existing farmhouse located on Lot 9, Block 1 has a rear yard setback on 20 feet from County Road 16 right-of-way. While such setback does not meet the R-3 District standard of 25 feet, the home is considered legally nonconforming by reason of setback and may continue to exist in its present location.

Outlots. The proposed preliminary plat includes the following outlots:

Outlot A. Outlot A is located on the east side of County Road 16 and will accommodate a detention pond which will retain and treat stormwater. This outlot will be dedicated to the City.

Outlot B. Outlot B is located in the northeast corner of the plat along County Road 16 will accommodate a stormwater pond. Like Outlot A, this outlot will be dedicated to the City. This Outlot abuts the rear yards of Lots 11- 13, Block 7 and the side lot line of Lot1, Block 1, the applicant shall install outlot boundary demarcation posts along the rear and side lot lines abutting Outlot B.

Outlot C. Outlot C is located within the interior of Blocks 4 and 5. This Outlot encompasses a stormwater pond. This outlot will be dedicated to the City. Access to the pond for maintenance purposes is provided from the east. To avoid trespassing of lot activities, into this Outlot the applicant shall install outlot boundary demarcation posts along the rear lot lines abutting Outlot C.

Outlots D and E. These Outlots are located along the plat's western boundary. The outlots are 16 feet in width. These Outlots are being created to allow for resolution of the property line dispute along this west boundary line.

Outlot F. Outlot F is located in the extreme northwest corner of the plat and is intended to accommodate a future bituminous trail connection to Willow Drive. The Outlot's configuration is not adequate for immediate trail construction. The future construction of a trail connection to Willow Drive will be dependent on the future development of the property to the west.

Outlot G. Outlot G is illustrated only on the final plat. This represents the second phase of development for Parkview Hills North, (Blocks 5,6,7 of the preliminary plat).

Outlot H. Outlot H, is located on the east side of County Road 16. The Outlot overlays land which is expected to be subdivided as part of future development. The outlot will remain under private ownership.

Outlots A, B, C and F shall be dedicated to the City in fee title.

Easements. Easements are shown of the submitted preliminary plat drawing consistent with the submittal requirements of the City's Subdivision Ordinance, the submitted preliminary plat drawing must be revised to illustrate all easements.

In review of the grading plan, we recommend expanded easements must be placed over drainage swales located within the rear yards of Blocks 6 and 7 to preserve the proposed rear yard drainage patterns of the lots within these Blocks. Individual lot improvements cannot interrupt the rear yard drainage patterns to the detriment of the adjoining properties.

All easements shall be subject to review and approval of the City Engineer.

Utilities. In review of the utility plan, the following comments are offered:

1. The utility plan shall be subject to the review and approval of the City Engineer.

2. The phone, electric, cable, and gas services installation shall be planned and coordinated to be installed in a joint trench. These utilities shall also be coordinated with street construction to identify the location of conduits crossing streets.
3. Utility services to individual home sites shall be located outside of the driveway.

Storm Water Management. In review of the grading and drainage plan, the following comments are offered:

1. The grading, drainage, stormwater management, and erosion control plans shall be subject to the review of the City Engineer.
2. The grading plan indicates that house elevations are a minimum of 18 inches above the street curb. Homes must be located two feet above pond elevations, high water elevations, and one-foot above emergency overflows for low openings.
3. The submitted landscape plan must specify the following stormwater-related items:
 - Outlot, wetland, pond easement demarcation posts at the periphery of these outlots and easements to prevent trespass, mowing or buildings encroaching into these Outlots, stormwater drainage ways or ponds.
 - Tree preservation fencing shall be installed prior to the start of grading. The type, location and installation of the tree preservation fencing shall be approved by the City Engineer prior to initiating grading.

Park Dedication. No park land is included in the proposed subdivision. As a condition of subdivision approval, the applicant must satisfy the park dedication requirements of the City. In lieu of park land dedication, a cash contribution is recommended.

Sidewalks/Trails. As shown on the submitted site plan, sidewalks are proposed along one side of the local streets. Additionally, sidewalks are proposed along 8^{2nd} and 84th Streets where future westerly street extensions are anticipated.

The Delano Subdivision Code requires a sidewalk on one side or a street and a trail on the opposite side of a major collector street or trails on both sides of a major collector street. 85th Street is a major collector street. City Staff recommends that a trail on the north side of 85th Street be constructed from County Road 16 to 2nd Street SW, with the plat development. This recommendation is dependent on securing trail easements from the property owners west of the plat.

In previous reviews, it was recommended that the plat provide a bituminous trail to Willow Drive to allow a pedestrian / bicycle connection to Barbra King Park. Staff

recommends continuing to require this trail corridor until the 85th Street trail construction is certain. With the construction of 85th Street trail and the resolution of the property line disputed the trail corridor connection to Willow Drive is no longer available at this time. This trail connection will be reliant on the future development of the property of the property to the west.

The comprehensive plan established a greenway trail corridor along the Crow River. Staff recommends the plat be revised to establish a trail corridor within Outlot H, from County Road 16 to the river and along the river.

Landscaping. As required, the applicant has submitted a landscape plan for review. The plan appropriately illustrates two trees on every lot. Also of note is that landscape buffers are proposed along County Road 16 and 85th Street.

In review of the landscape plan, the following comments are offered:

1. The buffer yard plantings must be located within the lots along County Road 16 and 85th Street.
2. The selected buffer plantings along County Road 16 and 85th Street shall be a species that will be salt tolerant.
3. The tree plantings on Lot 16 Block 1 shall be removed from the traffic visibility triangle setback at the corner of 85th Street and Parkhills Drive.
4. The landscape plan shows the intended ground cover treatments for the graded area, wetland / pond buffers. The treatments are acceptable.

Grading, Drainage and Utilities. Issues related to grading, drainage and utilities shall be subject to specific review and approval by the City Engineer.

RECOMMENDATION

The western portion of the Subdivision is zoned R-3 Single Family Residential District, the plat is designed to be compliant with this zoning district. Based on the preceding plat review, the following is recommended:

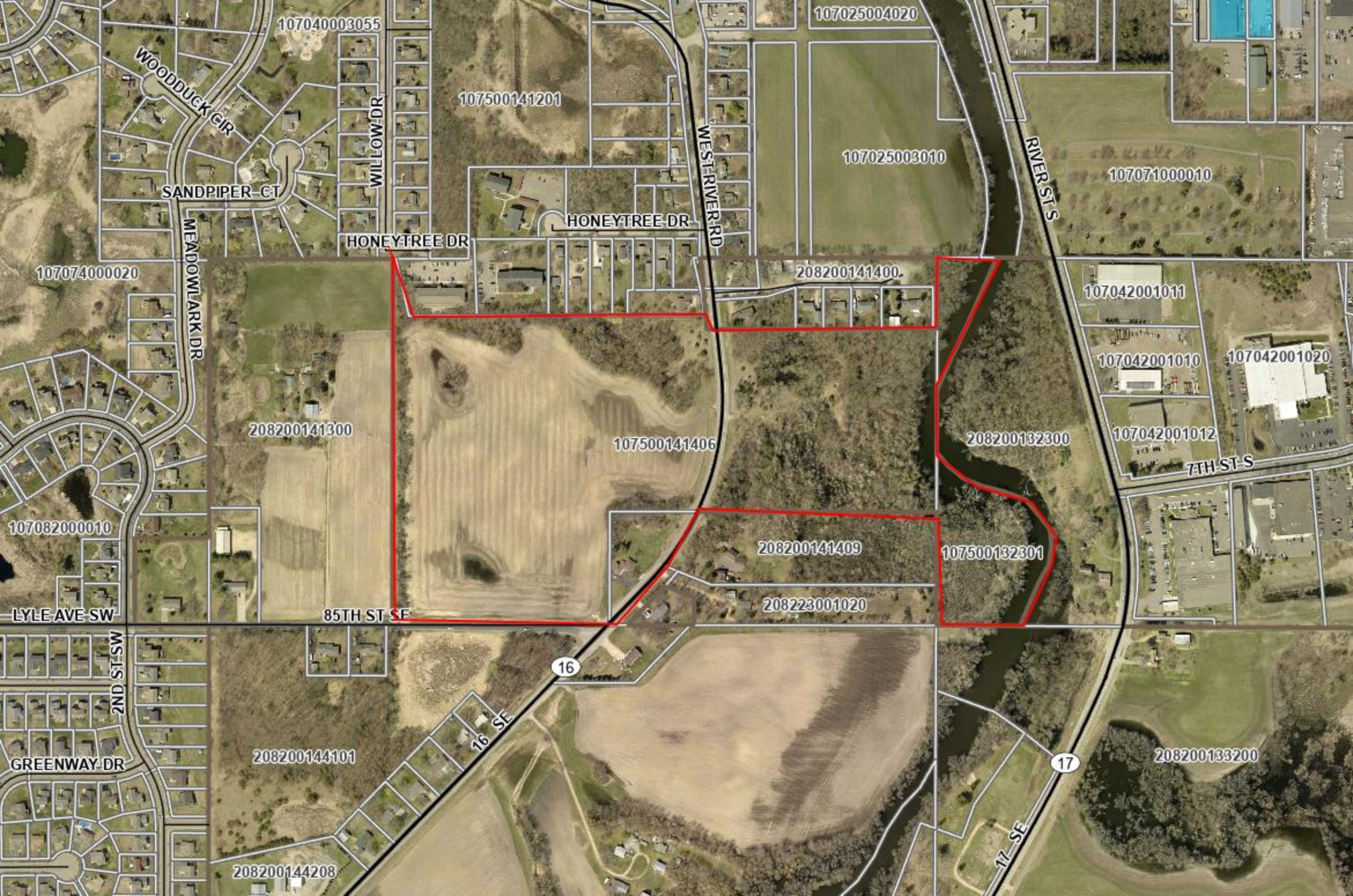
Preliminary Plat. Approval of the Parkview Hills North preliminary and final plat and associated plans, subject to the following conditions:

1. The Plat is subject to WCA approval. The plat shall be revised to meet all conditions of WCA approval.
2. The tree preservation measures are installed and are in place before site grading begins.

3. The alignment of Parkhills Drive and 84th Street SE is not an aligned intersection. The plat must be redesigned to provide an aligned full intersection. Street plans shall be subject to the review and approval of the City Engineer.
4. The streets shall be named in accordance with the City's Street naming policy.
5. Streetlights and traffic control signs shall meet City design standards and related installation costs shall be borne by the subdivision.
6. The final plat shows the extension of 84th Street north for 1040 feet. The plat and development plans must illustrate the provision of a temporary cul-de-sac.
7. The Developer shall provide a proportional share cost contribution as estimated by the City Engineer for the future construction of 85th Street as an urban major collector street.
8. Individual lots shall be prohibited from receiving direct access from County Road 16 and 85th Street.
9. Block 4, Lot 6. This is a triangular lot, with a narrow rear yard. The rear lot line shall be straightened between Lots 5 and 7. Property demarcation posts shall be required at the rear lot corners to designate lot boundary between the lots and outlot C.
10. Block 5, Lots 1 and 2. These are triangular lots, with narrow rear yards. Property demarcation posts shall be required at the lot corners to designate lot boundary between the rear lots and outlot C and clearly define the boundaries of these lots.
11. Block 5, Lot 14. Straighten south lot line of Lot 14 through Lot 2, to avoid future lot line disputes.
12. Outlots A, B, C and F shall be dedicated to the City in fee title.
13. The submitted preliminary and final plats shall be revised to illustrate all easements. Easements shall be placed over rear yard drainage swales. All easements shall be subject to review and approval of the City Engineer. No construction of sheds, fences, patios or filling may occur with the drainage and utility easements.
14. The utility plan shall be subject to the review and approval of the City Engineer.
15. The phone, electric, cable, and gas services installation shall be planned and coordinated to be installed in a joint trench. These utilities shall also be coordinated with street construction to identify the location of conduits crossing streets.
16. Utility services to individual home sites shall be located outside of the driveway.

17. A trail shall be constructed to Willow Drive, unless an alternative trail can be constructed along the north side of 85th Street between County Road 16 and 2nd Street SW.
18. Plat be revised to provide a trail corridor through Outlot H from County Road 16 to the river and along the river for the full length of Outlot H.
19. The buffer yard plantings must be located within the lots along County Road 16 and 85th Street.
20. The selected buffer plantings along County Road 16 and 85th Street shall be a species that will be salt tolerant.
21. The tree plantings on Lot 16 Block 1 shall be removed from the traffic visibility triangle setback at the intersection of 85th Street and Parkhills Drive.
22. The plat shall install demarcation posts at the periphery of outlots and easements containing stormwater pond, or wetland buffers to prevent trespass, mowing or building in these stormwater drainage ways or pond outlots.
23. The grading, drainage and utility plans shall be subject to specific review and approval by the City Engineer.
24. The applicant shall satisfy the park dedication requirements of the City.
25. The applicant shall enter into a development agreement with the city outlining the conditions of the plat approval and the securities for required for the site development Improvements.

Cc: Paula Bauman
Scott Dornfeld
Shawn Louwagie
Backes Development, LLC
Todd McLouth



107040003055

107025004020

107500141201

107025003010

107071000010

WOODDUCK CIR

SANDPIPER CT

WILLOW DR

HONEYTREE DR

WEST RIVER RD

RIVER ST S

HONEYTREE DR

107074000020

208200141400

MEADOWLARK DR

107042001011

107042001010

107042001020

208200141300

107500141406

208200132300

107042001012

7TH ST S

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208200141409

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208223001020

LYLE AVE SW

85TH ST SE

16

17

208200144101

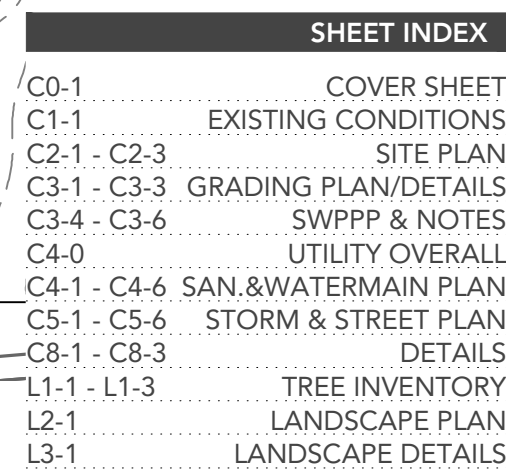
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GREENWAY DR

16 SE

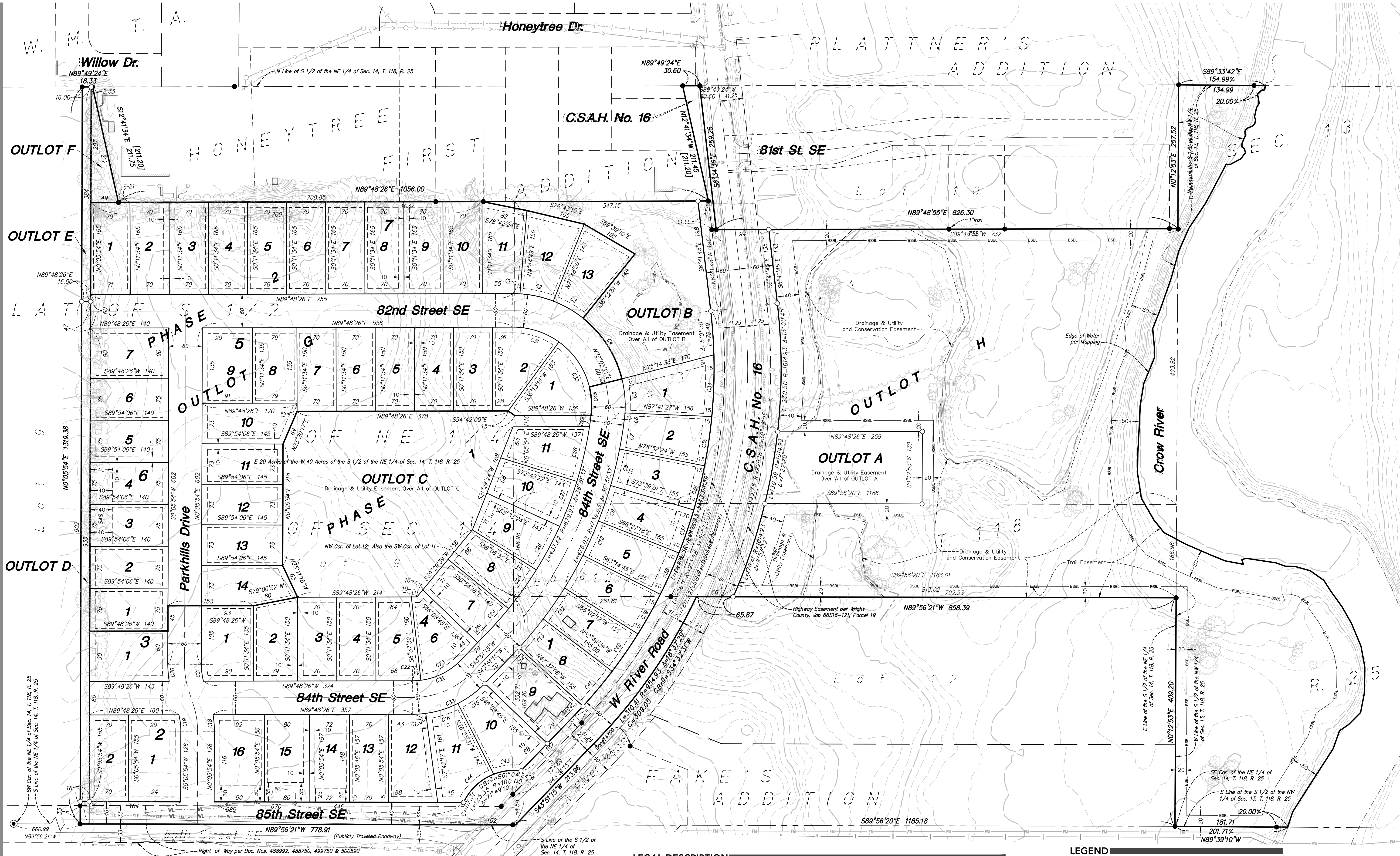
17 SE

208200144208



Plotted: 04/09/2024 8:38 AM W:\2021\21656\CADD DATA\CIVIL\dwg Sheet Files\C1-1 EXISTING CONDITIONS

Plotted: 04/08/2024 11:52 AM W:\2021\21656\CADD\DATA\SURVEY\Long Sheet Files\21656-PPLAT



GENERAL NOTES

ENGINEER:
Loucks
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55330
763-424-5505

OWNER/DEVELOPER:
Backes Development LLC
11413 Ashbury Circle North
Champlin, MN 55316
612-369-7750

- Prepared April 8, 2024.
- The address, as disclosed in documents provided to the surveyor, obtained by the surveyor, or observed while conducting the fieldwork is unassigned, together with 8467 County Road 16 SE, Delano, MN 55328, as to Lot 12, lying west of County State Aid Highway No. 16.
- The bearings for this survey are based on the Wright County Coordinate System NAD 83 (1986 Adjust).
- This property is contained in Zone X (areas of 500 year flood, areas of 100 year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100 year flood), and floodway areas in Zone AE per Flood Insurance Community Panel No. 270534 0044 C, effective date of August 18, 1992.
- The field work was completed on March 16, 2022.
- All monuments will be set after construction is completed, or within one year of the plat being filed.
- See Sheet 2 for notes, lot tables, and curve tables.

LEGAL DESCRIPTION

All that part lying West of Crow River of the South Half of the Northwest Quarter of Section 13, Township 118, Range 25.

4 1/2 acres of land from Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4) of Section 14, commencing at the Northwest corner of Lot 12; thence North 2 chains and 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to beginning.

The East 20 acres of the West 40 acres of the West end of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), except Lot 8, designated as Lot 9 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), and Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), save and except 4 1/2 acres described commencing at the Southwest corner of Lot 11, thence North 2 chains, 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to the beginning, all in Section 14, Township 118, Range 25.

AND

All that part of Lot 12 of the Northeast Quarter of Section 14, Township 118, Range 25, which lies west of the public road across said Lot 12, Wright County, Minnesota.

Wright County, Minnesota.
Abstract Property

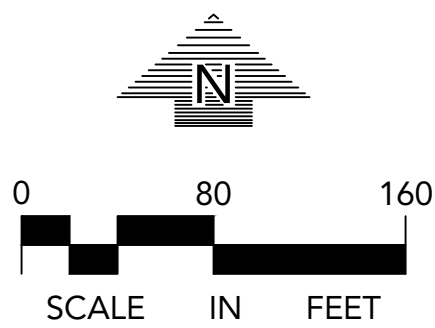
LEGEND

- FOUND 1/2 INCH OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
- SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"
- 1 SCHEDULE B II ITEM
- [] RECORD DOCUMENT
- M.T.A. WOODLAND MEADOWS THIRD ADDITION
- WL WETLAND AS DELINEATED BY KJOLHAUG ON FEBRUARY 4, 2022
- BSBL BUILDING SETBACK LINE

BENCHMARKS

Benchmark: MnDOT ERIC (GSID Sta.#109594). A metal rod located along the west side of Highway 12 in Delano, north of Rockford Ave. W. Elevation = 918.71 feet (NGVD29)

Site Benchmark: Top Nut of Hydrant located southeast of the 85th St. SE & C.S.A.H. No. 16 intersection as shown hereon. Elevation = 949.81 feet (NGVD29)



PARKVIEW HILLS NORTH

COUNTY ROAD 16 & 85TH AVE.
DELANO, MN 55328

BACKES
DEVELOPMENT LLC

11413 ASHBURY CIRCLE NORTH
CHAMPLIN, MN 55316

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
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www.loucksinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

05/09/23 PRELIMINARY ISSUED
04/08/24 PRELIMINARY REVISED

PROFESSIONAL SIGNATURE

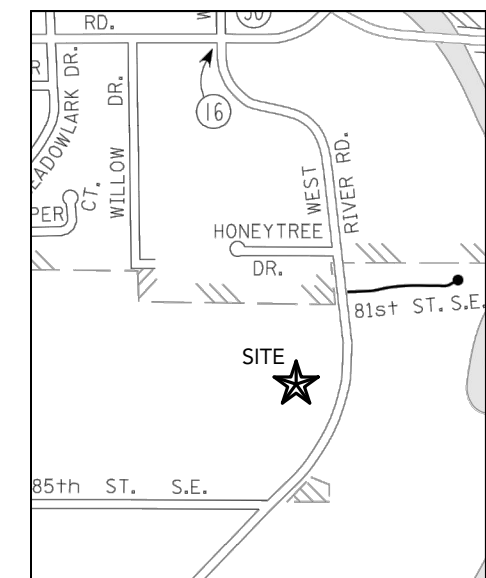
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanislawski
Max L. Stanislawski - PLS
License No. 48988
Date 05/09/23

QUALITY CONTROL

Loucks Project No. 21656
Project Lead TWM
Drawn By KMM
Checked By MLS
Field Crew CMS

VICINITY MAP



PRELIMINARY PLAT

C2-1

GENERAL NOTES

ENGINEER:
Loucks
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55330
763-424-5505

OWNER/DEVELOPER:
Backes Development LLC
11413 Ashbury Circle North
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- Prepared April 8, 2024.
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- The bearings for this survey are based on the Wright County Coordinate System NAD 83 (1986 Adjust).
- This property is contained in Zone X (areas of 500 year flood, areas of 100 year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100 year flood), and floodway areas in Zone AE per Flood Insurance Community Panel No. 270534 0044 C, effective date of August 18, 1992.
- The field work was completed on March 16, 2022.
- All monuments will be set after construction is completed, or within one year of the plat being filed.
- The second phase of this plat will be all of Outlot G.
- See Sheet 1 for Site Plan and notes.

ZONING INFORMATION

Current Zoning: R-A, Rural/Agricultural District & Shoreland Overlay District
Proposed Zoning: R-3, Single Family Residential District - Blocks 1-4 and Outlots B-G.

Outlots A & H
Minimum Lot Area: 10 acres (2 acres of buildable land)
Minimum Lot Width: 300 feet
Minimum Lot Width Corner: 90 feet
Front Setback: 40 feet (CSAH 16) | Side Setback: 20 feet
Rear Setback: 30 feet | Crow River OHW Setback: 50 feet
Top of Bluff Setback: Not applicable (No bluff on site)

Blocks 1-4 and Outlots B-G
Minimum Lot Area: 10,500 sq.ft.
Minimum Lot Width: 70 feet
Minimum Lot Depth: 135 feet
Rear/Front Setback: 30 feet | Side Setback: 10 feet

SITE DATA

Areas:
Outlot A = 34,693 +/- square feet or 0.80 +/- acres
Outlot B = 58,324 +/- square feet or 1.34 +/- acres
Outlot C = 116,896 +/- square feet or 2.68 +/- acres
Outlot D = 14,322 +/- square feet or 0.33 +/- acres
Outlot E = 6,149 +/- square feet or 0.14 +/- acres
Outlot F = 5,322 +/- square feet or 0.12 +/- acres
Outlot G = 469,472 +/- square feet or 10.78 +/- acres
Outlot H = 584,937 +/- square feet or 13.43 +/- acres
Lot Areas - Phase 1 = 355,472 +/- square feet or 8.16 +/- acres
New Plat ROW - Phase 1 = 94,729 +/- square feet or 2.17 +/- acres
County Rd. 16 ROW = 121,789 +/- square feet or 2.80 +/- acres
85th St. ROW = 27,435 +/- square feet or 0.63 +/- acres

Total Property Area = 1,889,540 +/- square feet or 43.38 +/- acres

LOT DATA - PHASE 1

Block	Lot	Area (Sq.Ft.)	Lot Width @ Front Setback	Front Setback	Rear Setback	Side Setback	Side Street Setback	House Pad Width	House Pad Depth
1	1	13,754	70	30	30	10/15	N/A	45	50
	2	11,990	70	30	30	10	N/A	50	50
	3	11,519	70	30	30	10	N/A	50	50
	4	11,519	70	30	30	10	N/A	50	50
	5	11,519	70	30	30	10	N/A	50	50
	6	11,519	70	30	30	10	N/A	50	50
	7	11,519	70	30	30	10	N/A	50	50
	8	11,519	70	30	30	10	N/A	50	50
	9	14,031	90	30	30	10	N/A	Existing House	
	10	13,272	70	30	30	10	N/A	50	50
	11	13,450	70	30	30	10	N/A	50	50
	12	12,198	70	30	30	10	N/A	50	50
	13	11,011	70	30	30	10	N/A	50	50
	14	11,303	72	30	30	10	N/A	50	50
	15	12,531	80	30	35	10	N/A	50	50
	16	14,088	90	30	30	10	30	50	50
2	1	14,535	94	30	30	10	30	50	50
	2	10,865	70	30	30	10	N/A	50	50
3	1	12,633	90	30	30	10	30	50	50
	2	12,584	94	30	30	10	30	50	50
4	2	11,213	79	30	30	10	N/A	50	50
	3	10,500	70	30	30	10	N/A	50	50
	4	10,500	70	30	30	10	N/A	50	50
	5	10,824	77	30	30	10	N/A	50	50
	6	10,610	89	30	30	10	N/A	50	50
	7	10,610	80	30	30	10	N/A	50	50
	8	10,610	82	30	30	10	N/A	50	50
	9	11,095	84	30	30	10	N/A	50	50
	10	11,082	82	30	30	10	N/A	50	50
	11	11,069	92	30	30	10	N/A	50	50

30 Lots 355,472 sq ft 8.16 ac

OL A	34,693	sq ft	0.80	ac
OL B	58,324	sq ft	1.34	ac
OL C	116,896	sq ft	2.68	ac
OL D	14,322	sq ft	0.33	ac
OL E	6,149	sq ft	0.14	ac
OL F	5,322	sq ft	0.12	ac
OL G	469,472	sq ft	10.78	ac
OL H	584,937	sq ft	13.43	ac

Total Outlots & Lots 1,290,115 sq ft 29.62 ac

New Plat ROW	94,729	sq ft	2.17	ac
CR 16 ROW	121,789	sq ft	2.80	ac
85th St. ROW	27,435	sq ft	0.63	ac
Total ROW	243,953	sq ft	5.60	ac

Total Plat Area - 1,889,540 sq ft 43.38 ac

Minimum lot size Req'd.	Blks. 1-4	10,500	sq ft
Minimum lot size	Blks. 1-4	10,500	sq ft
Average lot size	Blks. 1-4	11,849	sq ft
Minimum lot width		70.0	ft
Average lot width		77.5	ft

LOT DATA-PHASE 2

Block	Lot	Area (Sq.Ft.)	Lot Width @ Front Setback	Front Setback	Rear Setback	Side Setback	Side Street Setback	House Pad Width	House Pad Depth
5	1	12,006	121	30	30	10	N/A	50	50
	2	11,513	105	30	30	10	N/A	50	50
	3	10,500	70	30	30	10	N/A	50	50
	4	10,500	70	30	30	10	N/A	50	50
	5	10,500	70	30	30	10	N/A	50	50
	6	10,500	70	30	30	10	N/A	50	50
	7	10,500	70	30	30	10	N/A	50	50
	8	10,707	79	30	30	10	N/A	50	50
	9	12,196	90	30	30	10	30	50	50
	10	11,676	73	30	30	10	N/A	50	50
	11	10,516	73	30	30	10	N/A	50	50
	12	10,516	73	30	30	10	N/A	50	50
	13	10,521	73	30	30	10	N/A	50	50
	14	11,035	73	30	30	10	N/A	50	50
6	1	10,611	76	30	30	10	N/A	50	50
	2	10,561	75	30	30	10	N/A	50	50
	3	10,561	75	30	40	10	N/A	50	50
	4	10,561	75	30	40	10	N/A	50	50
	5	10,561	75	30	30	10	N/A	50	50
	6	10,512	75	30	30	10	N/A	50	50
	7	12,600	90	30	30	10	30	50	50
7	1	11,619	71	30	30	10	N/A	50	50
	2	11,550	70	30	30	10	N/A	50	50
	3	11,550	70	30	30	10	N/A	50	50
	4	11,550	70	30	30	10	N/A	50	50
	5	11,550	70	30	30	10	N/A	50	50
	6	11,550	70	30	30	10	N/A	50	50
	7	11,550	70	30	30	10	N/A	50	50
	8	11,550	70	30	30	10	N/A	50	50
	9	11,550	70	30	30	10	N/A	50	50
	10	11,550	70	30	30	10	N/A	50	50
	11	11,642	70	30	30	10	N/A	50	50
	12	12,177	70	30	30	10	N/A	50	50
	13	12,123	70	30	30	10	N/A	50	50

34 Lots 380,664 sq ft 8.74 ac

Outlots 0 sq ft 0

Total Lots 380,664 sq ft 8.74 ac

New Plat ROW 88,808 sq ft 2.04 ac

Total Plat Area 469,472 sq ft 10.78 ac

Minimum lot size Req'd.	Blks. 5-7	10,500	sq ft
Minimum lot size	Blks. 5-7	10,500	sq ft
Average lot size	Blks. 5-7	11,196	sq ft
Minimum lot width		70.0	ft
Average lot width		75.4	ft

CURVE DATA

CURVE DATA					
SEGMENT	LENGTH	RADIUS	DELTA	CH. BEARING	CHORD
C1	12.93	200.82	3°41'16"	N88°20'56"W	12.92
C2	61.35	200.82	17°30'19"	N77°45'08"W	61.12
C3	61.61	200.82	17°34'37"	N60°12'40"W	61.36
C4	131.36	200.82	37°28'42"	N32°41'00"W	129.03
C5	61.35	200.82	17°30'19"	N05°11'29"W	61.12
C6	12.03	200.82	3°25'58"	N05°16'39"E	12.03
C7	53.37	739.93	4°07'57"	N09°03'37"E	53.36
C8	67.27	739.93	5°12'33"	N13°43'52"E	67.25
C9	67.27	739.93	5°12'33"	N18°56'25"E	67.25
C10	67.27	739.93	5°12'33"	N24°08'58"E	67.25
C11	67.27	739.93	5°12'33"	N29°21'31"E	67.25
C12	67.27	739.93	5°12'33"	N34°34'04"E	67.25
C13	67.27	739.93	5°12'33"	N39°46'37"E	67.25
C14	19.02	739.93	1°28'21"	N43°07'04"E	19.02
C15	60.38	180.00	19°13'14"	N53°27'52"E	60.10
C16	60.38	180.00	19°13'14"	N72°41'06"E	60.10
C17	23.60	180.00	7°30'43"	N86°03'05"E	23.58
C18	29.82	180.00	9°29'29"	N04°38'51"W	29.78
C19	29.67	120.00	14°10'03"	N06°59'08"W	29.60
C20	30.58	180.00	9°43'59"	N04°46'06"W	30.54
C21	30.45	120.00	14°32'12"	N07°10'12"W	30.36
C22	15.00	120.00	7°09'43"	N86°13'35"E	14.99
C23	81.24	120.00	38°47'28"	N63°14'59"E	79.70

CURVE DATA					
SEGMENT	LENGTH	RADIUS	DELTA	CH. BEARING	CHORD
C24	56.47	679.93	4°45'31"	N41°28'30"E	56.45
C25	85.51	679.93	7°12'20"	N35°29'34"E	85.45
C26	88.37	679.93	7°26'49"	N28°10'00"E	88.31
C27	86.23	679.93	7°15'58"	N20°48'37"E	86.17
C28	100.65	679.93	8°28'52"	N12°56'12"E	100.55
C29	20.20	679.93	1°42'07"	N07°50'42"E	20.20
C30	150.71	140.82	61°19'22"	N23°40'03"W	143.62
C31	88.14	140.82	35°51'50"	N72°15'39"W	86.71
C32	96.24	120.00	45°57'11"	N66°49'51"E	93.69
C33	144.37	180.00	45°57'11"	N66°49'51"E	140.53
C34	110.61	894.93	7°04'53"	N01°52'12"E	110.54
C35	89.28	894.93	5°42'57"	N08°16'07"E	89.24
C36	81.36	894.93	5°12'33"	N13°43'52"E	81.34
C37	81.36	894.93	5°12'33"	N18°56'25"E	81.34
C38	81.36	894.93	5°12'33"	N24°08'58"E	81.34
C39	81.36	894.93	5°12'33"	N29°21'31"E	81.34
C40	81.36	894.93	5°12'33"	N34°34'04"E	81.34
C41	81.36	894.93	5°12'33"	N39°46'37"E	81.34
C42	23.00	894.93	1°28'21"	N43°07'04"E	23.00
C43	49.64	100.00	28°26'35"	S82°45'46"W	49.13
C44	75.71	100.00	43°22'44"	S46°51'07"W	73.92
C45	51.46	140.82	20°56'17"	N03°28'30"W	51.17

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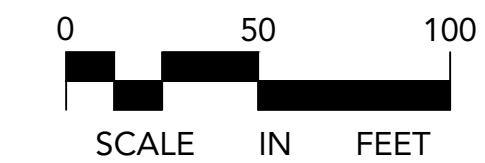
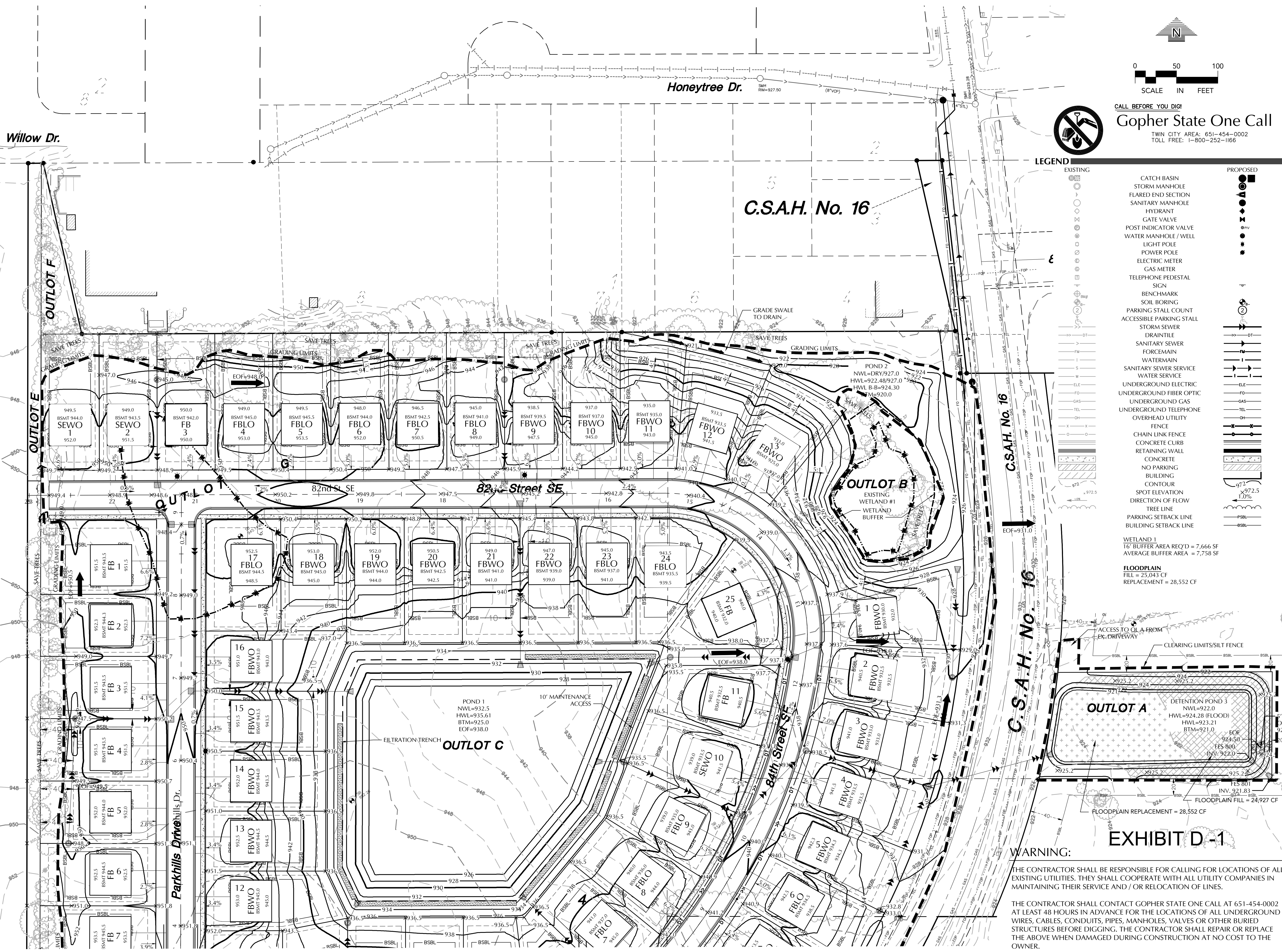
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04/08/24 PRELIMINARY REVISED

PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanislawski
Max L. Stanislawski - PLS

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LEGEND

- | | | |
|-----------------|-----------------|--------------------------|
| EXISTING | PROPOSED | |
| | | CATCH BASIN |
| | | FLARED END SECTION |
| | | SANITARY MANHOLE |
| | | HYDRANT |
| | | GATE VALVE |
| | | POST INDICATOR VALVE |
| | | WATER MANHOLE / WELL |
| | | LIGHT POLE |
| | | POWER POLE |
| | | ELECTRIC METER |
| | | GAS METER |
| | | TELEPHONE PEDESTAL |
| | | SIGN |
| | | BENCHMARK |
| | | SOIL BORING |
| | | PARKING STALL COUNT |
| | | ACCESSIBLE PARKING STALL |
| | | STORM SEWER |
| | | DRAIN TILE |
| | | SANITARY SEWER |
| | | FORCE MAIN |
| | | WATERMAIN |
| | | SANITARY SEWER SERVICE |
| | | WATER SERVICE |
| | | UNDERGROUND ELECTRIC |
| | | UNDERGROUND FIBER OPTIC |
| | | UNDERGROUND GAS |
| | | UNDERGROUND TELEPHONE |
| | | OVERHEAD UTILITY |
| | | FENCE |
| | | CHAIN LINK FENCE |
| | | CONCRETE CURB |
| | | RETAINING WALL |
| | | CONCRETE |
| | | NO PARKING |
| | | BUILDING |
| | | CONTOUR |
| | | SPOT ELEVATION |
| | | DIRECTION OF FLOW |
| | | TREE LINE |
| | | PARKING SETBACK LINE |
| | | BUILDING SETBACK LINE |

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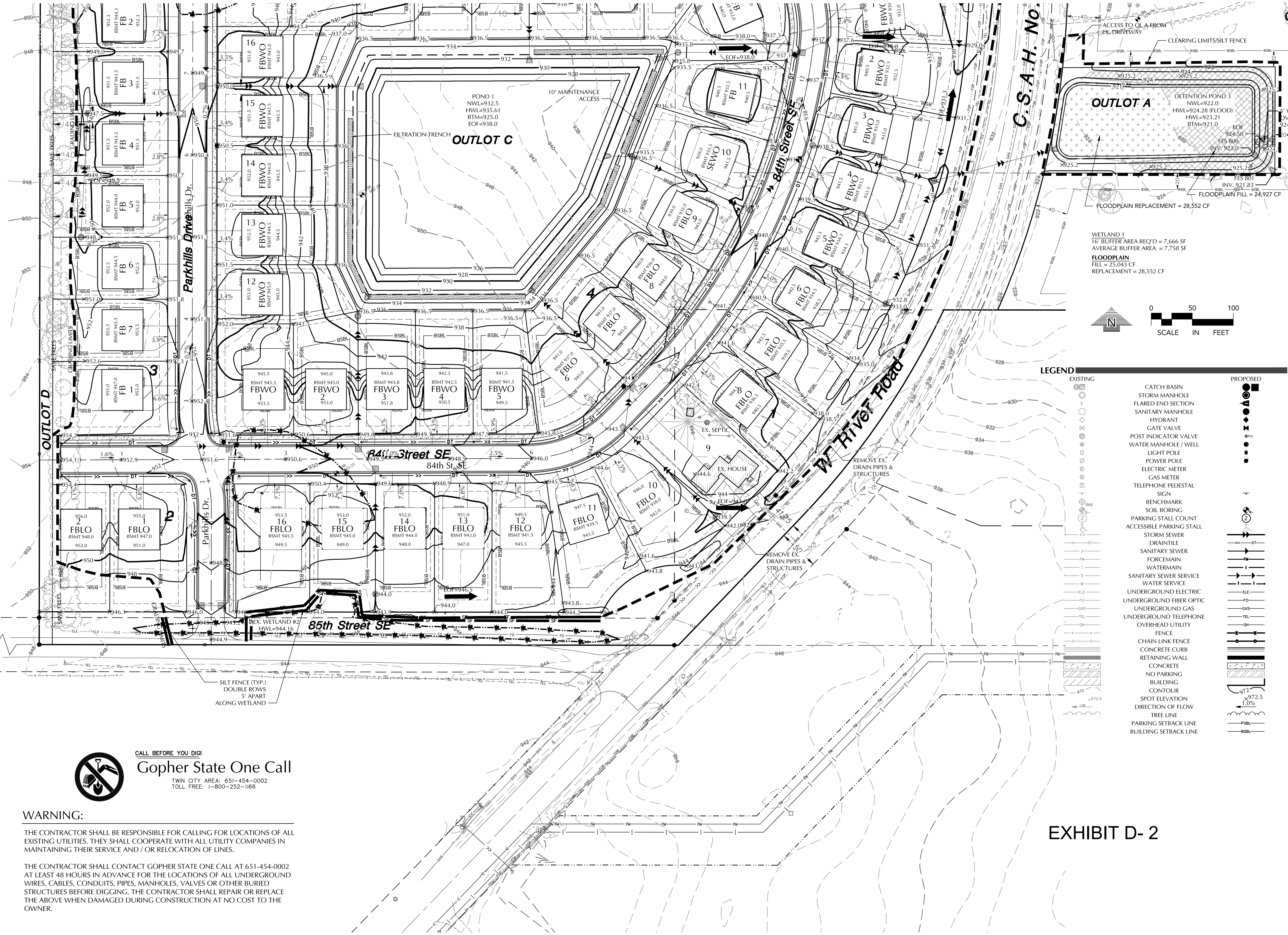
Todd W. Loucks - PE
License No. 20383
Date 04/05/2024

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Loucks Project No. 21656
Project Lead TWM
Drawn By NWC
Checked By TWM
Review Date 04/05/2024

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L1-1 - L1-3	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

**GRADING
PLAN**
C3-1

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SIGN
BENCHMARK
SOIL BORING
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ACCESSIBLE PARKING STALL
STORM SEWER
DRAIN TILE
SANITARY SEWER
FORCEMAIN
WATERMAIN
SANITARY SEWER SERVICE
WATER SERVICE
UNDERGROUND ELECTRIC
UNDERGROUND FIBER OPTIC
UNDERGROUND GAS
UNDERGROUND TELEPHONE
OVERHEAD UTILITY
FENCE
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NO PARKING
BUILDING
CONTOUR
SPOT ELEVATION
DIRECTION OF FLOW
TREE LINE
PARKING SETBACK LINE
BUILDING SETBACK LINE

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Todd W. McLouth - PE
License No. 20383
Date 04/05/2024

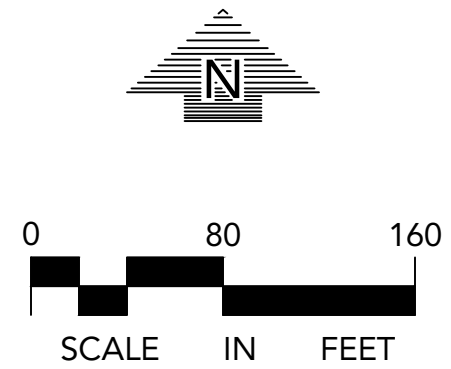
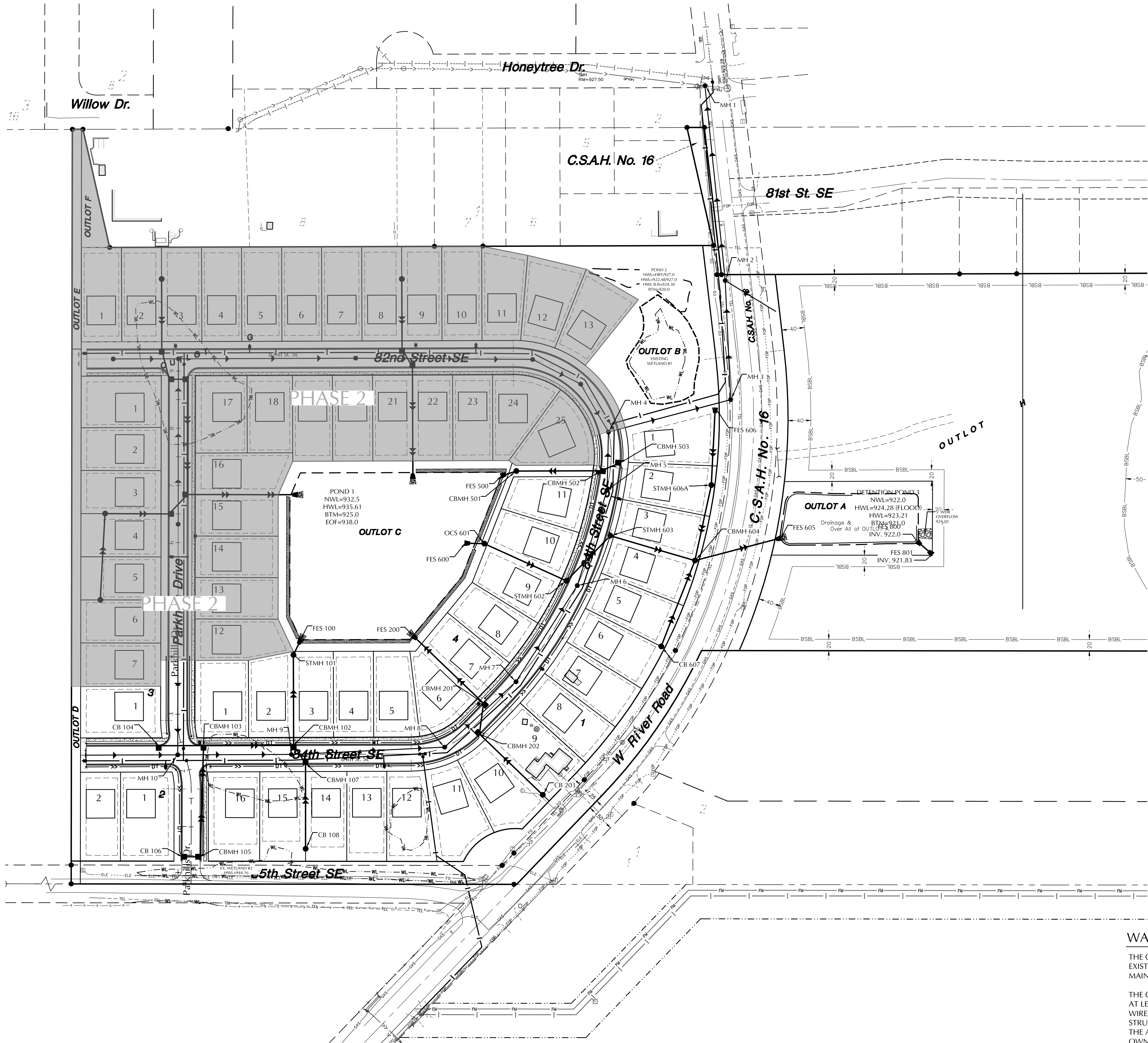
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Project Lead TWM
Drawn By NWC
Checked By TWM
Review Date 04/05/2024

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C8-1 - C8-3 DETAILS
L1-1 - L1-3 TREE INVENTORY
L2-1 LANDSCAPE PLAN
L3-1 LANDSCAPE DETAILS

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EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOIL BORING	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FORCE MAIN	
	DRAIN TILE	
	SILT FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TREELINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	GAS	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	

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License No. 20383
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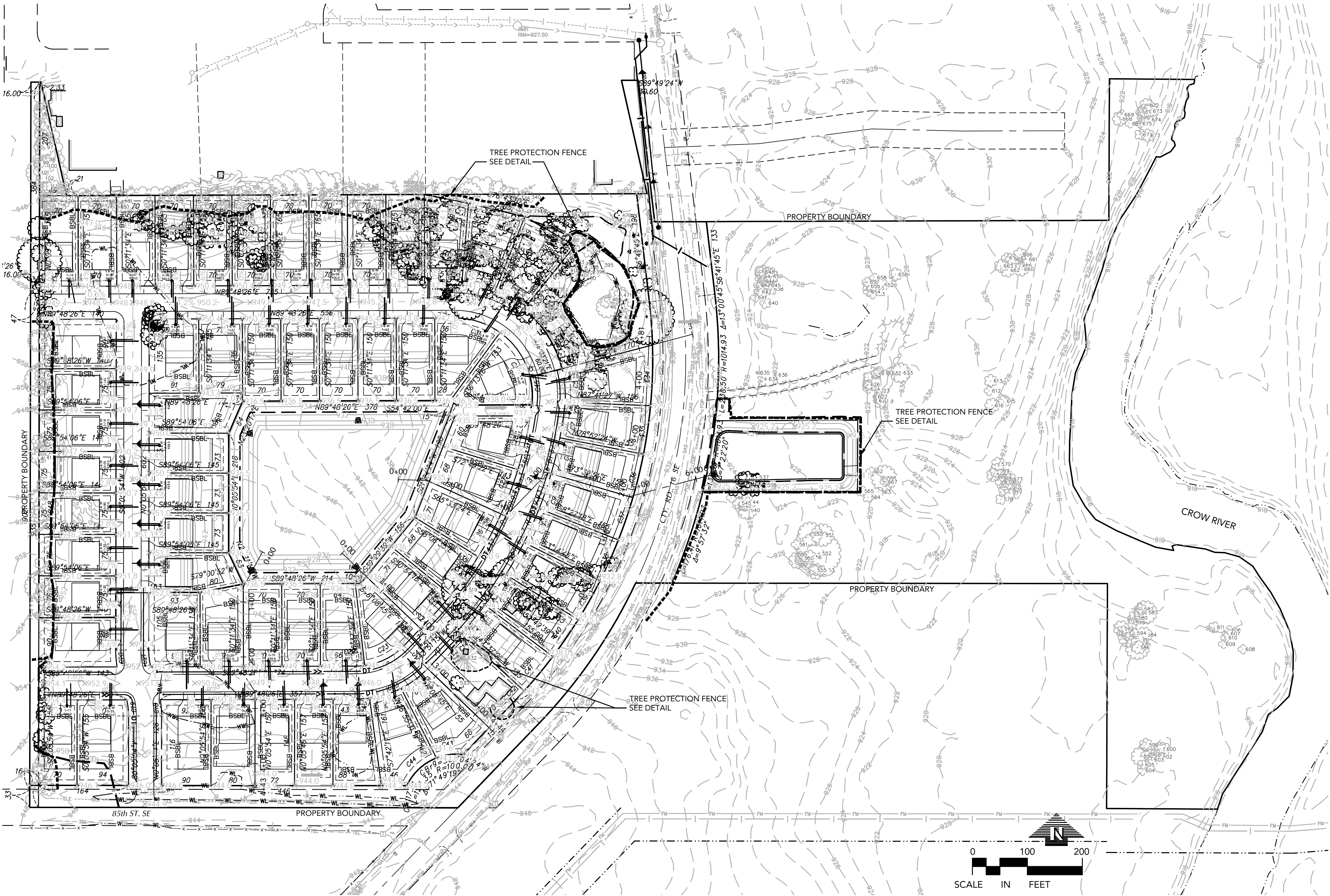
Loucks Project No. 21656
Project Lead TWM
Drawn By NWC
Checked By TWM
Review Date 04/05/2024

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L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

UTILITY PLAN OVERALL

C4-0



TREE INVENTORY PLAN

TREE PROTECTION NOTE:
INSTALL SNOW FENCE AROUND EACH TREE TO BE PROTECTED PRIOR TO GRADING. FENCE SHALL BE PLACED AT THE DRIP EDGE OR CRITICAL ROOT ZONES OF THE TREES. FENCING SHALL BE NO CLOSER THAN 6' TO THE TRUNK OF ANY TREE TO BE PROTECTED. THE PERIMETERS FOR TREES BEING PROTECTED SHALL BE DESIGNATED AT ALL TIMES DURING CONSTRUCTION ACTIVITY AND SIGNAGE SHALL BE INSTALLED AT ALL TREE PROTECTION AREAS THAT INSTRUCTS WORKERS TO STAY OUT. CONTRACTOR SHALL AVOID ALL AREAS WITHIN TREE PROTECTION FENCE. SOIL SHOULD BE PROTECTED FROM EROSION AND CHANGES IN CHEMISTRY FROM CONCRETE OR TOXIC MATERIALS SUCH AS FUELS AND PAINTS.

THE CONTRACTOR SHALL HAVE "TREE PAINT" ON SITE AT ALL TIMES. IF AN OAK IS WOUNDED DURING CONSTRUCTION, THE CONTRACTOR MUST IMMEDIATELY APPLY PAINT TO THE WOUND IN ORDER TO PREVENT OAK WILT. ALL DAMAGE TO TREES TO BE PROTECTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT.

1	TREE PROTECTION SCALE: 1/4" = 1'-0"	Tree Protection.dwg
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EXHIBIT F-1

LEGEND

- SIGNIFICANT TREE TO BE SAVED
- SIGNIFICANT TREE TO BE REMOVED
- TREE PROTECTION FENCE
SEE DETAIL

PARKVIEW HILLS NORTH

DELANO, MINNESOTA

**BACKES
DEVELOPMENT**
11413 ASHBURY CIRCLE N.
CHAMPLIN, MN 55318
PHONE: (612) 369-7750
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LOUCKS
PLANNING
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LANDSCAPE ARCHITECTURE
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SUBMITTAL/REVISIONS
04/05/2024 CD'S

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Daniel C. Rebok - LA
License No. 56877
Date 4/5/2024

QUALITY CONTROL
Loucks Project No. 21656
Project Lead TWB
Drawn By GAJ
Checked By GAJ
Review Date 04/13/22

SHEET INDEX

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TREE INVENTORY PLAN

L1-1

Tree #	Species	DBH	Condition	Height	Disposition
1	Elm, Siberian	14.0	Good		Saved
2	Boxelder	12.5	Fair		Saved
3	Maple, sugar	6.5	Good		Saved
4	Hackberry	8.0	Good		Saved
5	Cherry, black	8.0	Good		Saved
6	Boxelder	7.0	Fair		Saved
7	Boxelder	7.5	Fair		Saved
8	Elm, American	11.0	Good		Saved
9	Hackberry	14.0	Fair		Saved
10	Hackberry	7.0	Good		Removed
11	Cherry, black	12.0	Fair		Removed
12	Hackberry	22.0	Fair		Removed
13	Elm, red	8.5	Good		Removed
14	Boxelder	20.0	Fair		Removed
15	Elm, American	8.5	Good		Removed
16	Boxelder	10.5	Fair		Removed
17	Boxelder	16.0	Fair		Removed
18	Cottonwood	10.5	Good		Removed
19	Hackberry	7.0	Good		Removed
20	Hackberry	7.0	Good		Saved
21	Boxelder	12.0	Good		Saved
22	Cottonwood	19.0	Good		Saved
23	Boxelder	6.5	Fair		Saved
24	Boxelder	32.0	Fair		Saved
25	Boxelder	7.5	Fair		Saved
26	Hackberry	10.5	Good		Saved
27	Boxelder	7.0	Fair		Saved
28	Boxelder	14.5	Fair		Saved
29	Elm, American	29.0	Good		Saved
30	Boxelder	17.0	Good		Saved
31	Boxelder	9.0	Good		Saved
32	Elm, American	17.0	Good		Saved
33	Boxelder	18.0	Good		Saved
34	Boxelder	14.0	Good		Saved
35	Elm, Siberian	30.0	Fair		Saved
36	Boxelder	17.0	Good		Saved
37	Boxelder	8.0	Good		Saved
38	Boxelder	16.0	Good		Saved
39	Boxelder	11.0	Good		Saved
40	Elm, American	11.5	Good		Saved
41	Boxelder	7.0	Fair		Saved
42	Boxelder	17.0	Good		Saved
43	Boxelder	10.0	Fair		Saved
44	Boxelder	7.5	Good		Saved
45	Boxelder	9.5	Good		Saved
46	Ash, green	14.0	Good		Saved
47	Boxelder	14.5	Good		Saved
48	Boxelder	9.5	Good		Saved
49	Boxelder	9.0	Good		Saved
50	Boxelder	12.0	Good		Saved
51	Boxelder	9.0	Good		Saved
52	Boxelder	6.5	Good		Saved
53	Ash, green	33.0	Fair		Saved
54	Hackberry	7.0	Good		Saved
55	Hackberry	8.5	Good		Saved
56	Elm, Siberian	10.0	Fair		Saved
57	Boxelder	8.0	Fair		Saved
58	Hackberry	11.0	Good		Saved
59	Redcedar	3.5	Good	15	Saved
60	Hackberry	10.0	Good		Saved
61	Elm, American	34.0	Fair		Saved
62	Ash, green	17.0	Good		Saved
63	Hackberry	12.0	Good		Saved
64	Boxelder	10.0	Fair		Saved
65	Boxelder	8.5	Good		Saved
66	Ash, green	6.0	Fair		Saved
67	Ash, green	9.0	Good		Saved
68	Elm, American	21.0	Good		Saved
69	Elm, American	22.0	Fair		Saved
70	Boxelder	7.0	Good		Saved
71	Boxelder	10.0	Good		Saved
72	Boxelder	9.0	Fair		Saved
73	Elm, American	12.5	Good		Saved
74	Boxelder	16.0	Fair		Removed
75	Boxelder	16.5	Fair		Removed
76	Boxelder	7.0	Fair		Removed
77	Boxelder	11.0	Good		Removed
78	Boxelder	23.0	Good		Removed
79	Boxelder	20.0	Fair		Removed
80	Boxelder	8.0	Good		Removed
81	Maple, silver	56.0	Fair		Removed
82	Elm, American	12.0	Good		Saved
83	Boxelder	19.0	Fair		Removed
84	Maple, silver	26.0	Fair		Removed
85	Maple, silver	8.5	Good		Saved
86	Boxelder	7.5	Good		Saved
87	Maple, silver	14.0	Good		Saved
88	Elm, American	6.0	Fair		Saved
89	Boxelder	12.0	Fair		Saved
90	Boxelder	9.0	Good		Saved
91	Boxelder	7.0	Good		Saved
92	Boxelder	9.0	Good		Saved
93	Ash, green	8.0	Good		Saved
94	Boxelder	6.0	Good		Saved
95	Boxelder	13.0	Good		Saved
96	Boxelder	13.5	Good		Saved
97	Boxelder	21.0	Good		Saved
98	Ash, green	9.0	Good		Saved
99	Boxelder	9.0	Good		Saved
100	Elm, Siberian	18.0	Fair		Saved
101	Maple, silver	28.0	Fair		Saved
102	Boxelder	10.0	Fair		Saved
103	Boxelder	8.0	Fair		Saved
104	Maple, silver	13.0	Good		Saved
105	Boxelder	7.0	Fair		Saved
106	Boxelder	7.0	Good		Saved
107	Boxelder	8.0	Good		Saved
108	Boxelder	9.5	Good		Saved

Tree #	Species	DBH	Condition	Height	Disposition
109	Boxelder	8.0	Good		Saved
110	Boxelder	7.0	Good		Saved
111	Boxelder	7.0	Good		Saved
112	Boxelder	8.0	Fair		Saved
113	Maple, silver	11.0	Fair		Saved
114	Maple, silver	8.0	Good		Saved
115	Maple, silver	13.5	Good		Saved
116	Boxelder	6.5	Good		Saved
117	Maple, silver	23.0	Fair		Saved
118	Maple, silver	11.0	Fair		Saved
119	Maple, silver	18.0	Fair		Saved
120	Maple, silver	30.0	Fair		Saved
121	Maple, silver	14.0	Fair		Saved
122	Elm, Siberian	7.0	Fair		Saved
123	Boxelder	8.5	Good		Saved
124	Boxelder	9.0	Good		Saved
125	Boxelder	18.0	Fair		Saved
126	Boxelder	9.5	Good		Saved
127	Boxelder	8.0	Good		Saved
128	Ash, green	8.0	Fair		Saved
129	Ash, green	6.5	Fair		Saved
130	Ash, green	9.0	Good		Saved
131	Hackberry	13.0	Good		Saved
132	Boxelder	9.5	Good		Saved
133	Boxelder	14.5	Good		Saved
134	Elm, Siberian	6.5	Good		Removed
135	Elm, Siberian	19.0	Fair		Removed
136	Boxelder	10.5	Good		Removed
137	Boxelder	9.0	Good		Removed
138	Boxelder	8.0	Good		Removed
139	Boxelder	6.5	Good		Saved
140	Boxelder	6.0	Good		Saved
141	Boxelder	7.0	Good		Saved
142	Boxelder	8.0	Good		Saved
143	Boxelder	6.0	Fair		Saved
144	Elm, Siberian	7.0	Good		Removed
145	Elm, Siberian	10.0	Good		Removed
146	Elm, Siberian	6.0	Good		Removed
147	Elm, Siberian	6.0	Good		Removed
148	Elm, Siberian	9.0	Good		Removed
149	Elm, Siberian	8.5	Fair		Removed
150	Elm, Siberian	8.0	Good		Removed
151	Boxelder	7.5	Good		Saved
152	Boxelder	8.0	Fair		Saved
153	Boxelder	9.0	Good		Saved
154	Boxelder	9.0	Good		Saved
155	Boxelder	9.5	Good		Saved
156	Elm, Siberian	15.0	Fair		Removed
157	Elm, American	8.0	Good		Removed
158	Elm, Siberian	7.5	Good		Removed
159	Elm, Siberian	15.5	Good		Removed
160	Redcedar	6.0	Good	30	Removed
161	Elm, Siberian	19.0	Good		Removed
162	Boxelder	10.0	Fair		Removed
163	Boxelder	13.0	Fair		Removed
164	Redcedar	3.5	Good	20	Saved
165	Cottonwood	23.0	Good		Saved
166	Elm, Siberian	7.0	Good		Saved
167	Cottonwood	17.0	Good		Saved
168	Cottonwood	6.5	Good		Saved
169	Cottonwood	17.0	Fair		Saved
170	Redcedar	3.0	Good	20	Saved
171	Cottonwood	6.0	Good		Saved
172	Elm, Siberian	9.0	Good		Removed
173	Elm, Siberian	11.5	Fair		Removed
174	Elm, American	9.0	Good		Removed
175	Elm, American	8.0	Good		Removed
176	Elm, Siberian	13.0	Good		Removed
177	Maple, silver	14.5	Good		Removed
178	Ash, green	6.0	Good		Removed
179	Willow	7.0	Fair		Removed
180	Willow	26.0	Fair		Removed
181	Maple, silver	11.0	Good		Removed
182	Maple, silver	10.0	Good		Removed
183	Maple, silver	9.0	Fair		Removed
184	Maple, silver	9.0	Fair		Removed
185	Maple, silver	7.0	Good		Removed
186	Maple, silver	16.0	Good		Removed
187	Maple, silver	10.0	Fair		Removed
188	Maple, silver	9.0	Good		Removed
189	Maple, silver	16.0	Good		Removed
190	Maple, silver	24.0	Fair		Removed
191	Maple, silver	11.5	Good		Removed
192	Maple, silver	15.0	Good		Removed
193	Maple, silver	10.0	Fair		Removed
194	Maple, silver	6.0	Good		Removed
195	Willow	27.5	Fair		Removed
196	Maple, silver	18.5	Good		Removed
197	Elm, American	6.0	Good		Removed
198	Ash, green	10.0	Good		Removed
199	Redcedar	6.0	Good	18	Removed
200	Cottonwood	8.5	Fair		Saved
201	Elm, American	10.5	Good		Saved
202	Cottonwood	15.0	Fair		Saved
203	Redcedar	9.0	Good	25	Saved
204	Cottonwood	21.5	Fair		Saved
205	Redcedar	2.5	Good	18	Saved
206	Cottonwood	11.0	Good		Saved
207	Cottonwood	9.5	Good		Saved
208	Redcedar	3.0	Good	18	Saved
209	Cottonwood	6.5	Good		Removed
210	Cottonwood	17.0	Good		Saved
211	Cherry, black	8.0	Good		Saved
212	Redcedar	2.0	Good	18	Saved
213	Redcedar	3.0	Good	15	Removed
214	Cottonwood	11.5	Good		Removed
215	Ash, green	6.0	Good		Removed
216	Cottonwood	14.0	Good		Removed

Tree #	Species	DBH	Condition	Height	Disposition
217	Redcedar	1.5	Good	15	Removed
218	Redcedar	1.0	Good	14	Removed
219	Elm, Siberian	11.0	Good		Removed
220	Elm, Siberian	14.0	Fair		Removed
221	Elm, Siberian	18.0	Fair		Removed
222	Elm, American	11.5	Good		Removed
223	Redcedar	3.0	Good	15	Removed
224	Elm, American	7.0	Good		Removed
225	Redcedar	7.0	Good	25	Removed
226	Redcedar	4.0	Fair	18	Removed
227	Redcedar	3.5	Good	18	Removed
228	Elm, Siberian	9.5	Good		Removed
229	Elm, American	8.5	Good		Saved
230	Boxelder	8.0	Good		Saved
231	Cottonwood	7.0	Good		Saved
232	Boxelder	6.5	Good		Saved
233	Elm, Siberian	16.5	Fair		Saved
234	Ash, green	6.0	Good		Removed
235	Boxelder	10.0	Good		Removed
236	Boxelder	9.0	Fair		Removed
237	Boxelder	22.0	Fair		Removed
238	Elm, Siberian	10.5	Good		Removed
239	Elm, Siberian	16.5	Good		Removed
240	Elm, Siberian	6.0	Good		Removed
241	Elm, American	12.5	Good		Removed
242	Elm, Siberian	8.5	Good		Removed
243	Elm, American	7.0	Good		Removed
244	Elm, Siberian	18.5	Good		Removed
245	Elm, American	6.0	Good		Removed
246	Elm, American	8.0	Good		Removed
247	Cherry, black	13.0	Good		Saved
248	Elm, Siberian	7.0	Good		Saved
249	Hackberry	11.0	Good		Saved
250	Cherry, black	13.0	Good		Saved
251	Elm, Siberian	12.0	Fair		Saved
252	Hackberry	13.0	Good		Saved
253	Boxelder	12.5	Good		Saved
254	Elm, American	8.0	Good		Saved
255	Elm, American	24.0	Good		Saved
256	Ash, green	7.0	Good		Saved
257	Boxelder	32.0	Fair		Saved
258	Boxelder	9.5	Fair		Saved
259	Boxelder	9.0	Fair		Saved
260	Boxelder	13.0	Fair		Saved
261	Elm, Siberian	13.0	Good		Saved
262	Boxelder	9.5	Fair		Removed
263	Elm, Siberian	10.0	Good		Removed
264	Boxelder	24.0	Fair		Removed
265	Elm, American	11.5	Good		Removed
266	Redcedar	6.0	Good	25	Removed
267	Boxelder	9.5	Good		Removed
268	Elm, Siberian	11.5	Fair		Removed
269	Ash, green	15.0	Good		Removed
270	Elm, Siberian	9.0	Good		Removed
271	Ash, green	7.5	Good		Removed
272	Elm, Siberian	9.5	Good		Removed
273	Redcedar	20.0	Good	30	Removed

Tree #	Species	DBH	Condition	Height	Disposition
534	Cherry, black	12.0	Fair	30	Removed
535	Oak, bur	16.5	Good		Saved
536	Ash, green	11.0	Good		Removed
537	Ash, green	6.0	Good		Removed
538	Redcedar	6.0	Good		Removed
539	Ash, green	10.5	Good	Removed	
540	Oak, bur	19.5	Good		Saved
541	Oak, bur	9.0	Fair		Saved
542	Oak, bur	8.0	Good		Saved
543	Oak, bur	7.5	Good		Saved
544	Oak, bur	9.0	Fair		Saved
545	Oak, bur	9.5	Good		Saved
546	Ash, green	7.0	Fair		Saved
547	Ash, green	8.0	Good		Removed
548	Hackberry	6.5	Good		Removed
549	Oak, bur	13.0	Fair		Removed
550	Cottonwood	27.0	Good		Saved
551	Willow	25.0	Good		Saved
552	Cottonwood	54.0	Good		Saved
553	Elm, Siberian	7.0	Good		Saved
554	Oak, red	16.0	Good		Saved
555	Ash, green	9.0	Fair		Saved
556	Cottonwood	13.5	Good		Saved
557	Cottonwood	9.0	Fair		Saved
558	Cottonwood	13.0	Good		Saved
559	Cottonwood	16.5	Good		Saved
560	Oak, red	12.5	Good		Saved
561	Cottonwood	7.5	Good		Saved
562	Elm, American	6.0	Good		Saved
563	Cottonwood	8.0	Good		Saved
564	Cottonwood	8.5	Good		Saved
565	Aspen	8.5	Good		Saved
566	Cottonwood	29.0	Good		Saved
567	Cottonwood	7.0	Good		Saved
568	Elm, American	12.5	Good		Saved
569	Boxelder	14.5	Fair		Saved
570	Boxelder	13.0	Fair		Saved
571	Boxelder	10.5	Good		Saved
572	Boxelder	10.5	Good		Saved
573	Boxelder	10.5	Fair		Saved
574	Boxelder	11.5	Good		Saved
575	Boxelder	15.5	Good		Saved
576	Boxelder	25.0	Fair		Saved
577	Boxelder	9.0	Good		Saved
578	Elm, American	8.5	Good		Saved
579	Maple, silver	9.0	Good		Saved
580	Maple, silver	13.5	Good		Saved
581	Maple, silver	8.5	Good		Saved
582	Maple, silver	9.5	Good		Saved
583	Maple, silver	26.0	Fair		Saved
584	Maple, silver	15.5	Fair		Saved
585	Maple, silver	18.0	Fair		Saved
586	Maple, silver	27.0	Fair		Saved
587	Maple, silver	21.0	Good		Saved
588	Maple, silver	10.0	Good		Saved
589	Maple, silver	9.0	Good		Saved
590	Elm, American	6.5	Good		Saved
591	Ash, green	9.0	Good		Saved
592	Elm, American	15.5	Good		Saved
593	Maple, silver	6.0	Good		Saved
594	Maple, silver	6.5	Good		Saved
595	Maple, silver	19.5	Fair		Saved
596	Ash, green	7.0	Good		Saved
597	Ash, green	6.5	Good		Saved
598	Maple, silver	12.0	Good		Saved
599	Maple, silver	12.0	Fair		Saved
600	Maple, silver	13.0	Good		Saved

Tree #	Species	DBH	Condition	Height	Disposition
601	Maple, silver	10.0	Good		Saved
602	Maple, silver	8.0	Good		Saved
603	Maple, silver	13.0	Fair		Saved
604	Elm, American	7.5	Good		Saved
605	Elm, American	8.0	Good		Saved
606	Maple, silver	6.5	Good		Saved
607	Maple, silver	9.5	Good		Saved
608	Maple, silver	6.5	Good		Saved
609	Maple, silver	6.0	Good		Saved
610	Maple, silver	7.0	Good		Saved
611	Maple, silver	9.0	Good		Saved
612	Elm, American	7.5	Good		Saved
613	Hackberry	11.5	Good		Saved
614	Boxelder	9.5	Fair		Saved
615	Boxelder	10.0	Fair		Saved
616	Boxelder	14.0	Fair		Saved
617	Ash, green	7.0	Good		Saved
618	Ash, green	15.0	Good		Saved
619	Redcedar	7.5	Fair	40	Saved
620	Redcedar	7.0	Good	40	Saved
622	Redcedar	6.0	Fair	40	Saved
623	Redcedar	10.0	Good	45	Saved
624	Aspen	6.5	Good		Saved
625	Aspen	7.5	Good		Saved
626	Aspen	8.5	Good		Saved
628	Elm, American	9.0	Good		Saved
629	Aspen	7.0	Good		Saved
630	Aspen	6.0	Good		Saved
631	Redcedar	5.0	Good	22	Saved
632	Redcedar	6.0	Good	20	Saved
633	Elm, American	21.5	Fair		Saved
634	Redcedar	3.5	Good	20	Saved
635	Redcedar	4.0	Good	20	Saved
636	Redcedar	4.0	Good	20	Saved
637	Willow	13.5	Good		Saved
638	Willow	10.5	Good		Saved
640	Willow	9.5	Good		Saved
641	Elm, American	6.5	Good		Saved
642	Ash, green	6.5	Good		Saved
643	Elm, American	6.0	Good		Saved
644	Ash, green	7.0	Good		Saved
645	Willow	8.0	Fair		Saved
646	Ash, green	11.5	Good		Saved
647	Elm, American	8.0	Good		Saved
648	Ash, green	13.5	Good		Saved
649	Willow	20.0	Fair		Saved
650	Willow	14.0	Fair		Saved
651	Mulberry	12.0	Fair		Saved
652	Boxelder	12.0	Fair		Saved
653	Ash, green	7.0	Good		Saved
654	Boxelder	7.0	Good		Saved
655	Boxelder	6.5	Good		Saved
656	Boxelder	9.0	Good		Saved
657	Elm, American	7.0	Good		Saved
658	Ash, green	6.0	Good		Saved
659	Ash, green	6.0	Good		Saved
660	Boxelder	13.5	Fair		Saved
661	Ash, green	10.5	Good		Saved
662	Ash, green	13.5	Good		Saved
663	Boxelder	11.5	Fair		Saved
664	Ash, green	7.0	Good		Saved
665	Ash, green	10.0	Good		Saved
666	Ash, green	12.5	Good		Saved
667	Hackberry	6.0	Good		Saved
668	Boxelder	14.0	Fair		Saved
669	Ash, green	7.0	Good		Saved
670	Ash, green	10.5	Good		Saved
671	Ash, green	15.5	Good		Saved

SIGNIFICANT TREE NOTES:

SIGNIFICANT TREES ARE SHOWN ON THE
TABLE WITH A SHADED BACKGROUND


SITE AREA EAST OF CTY. RD. 16 SE IS WOODED, TREE INVENTORY LIST SHOWN IS A 10% SAMPLING OF THE SIGNIFICANT TREES.

SAMPLING SHOWS 55 TREES, TOTAL
NUMBER OF SIGNIFICANT TREES EAST OF
CTY. RD. 16 SE IS CALCULATED TO BE 550

EXHIBIT F-3

**PARKVIEW
HILLS NORTH**

DELANO, MINNESOTA


**BACKES
DEVELOPMENT**

11413 ASHBURY CIRCLE N.
CHAMPLIN, MN 55316
PHONE: (612) 568-7750
FAX (612) 568-1325

 **LOUCKS**
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksincc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

04/05/2024 CD'S

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Daniel C. Rebok
Daniel C. Rebok - LA
License No. 56877
Date 4/5/2024

QUALITY CONTROL

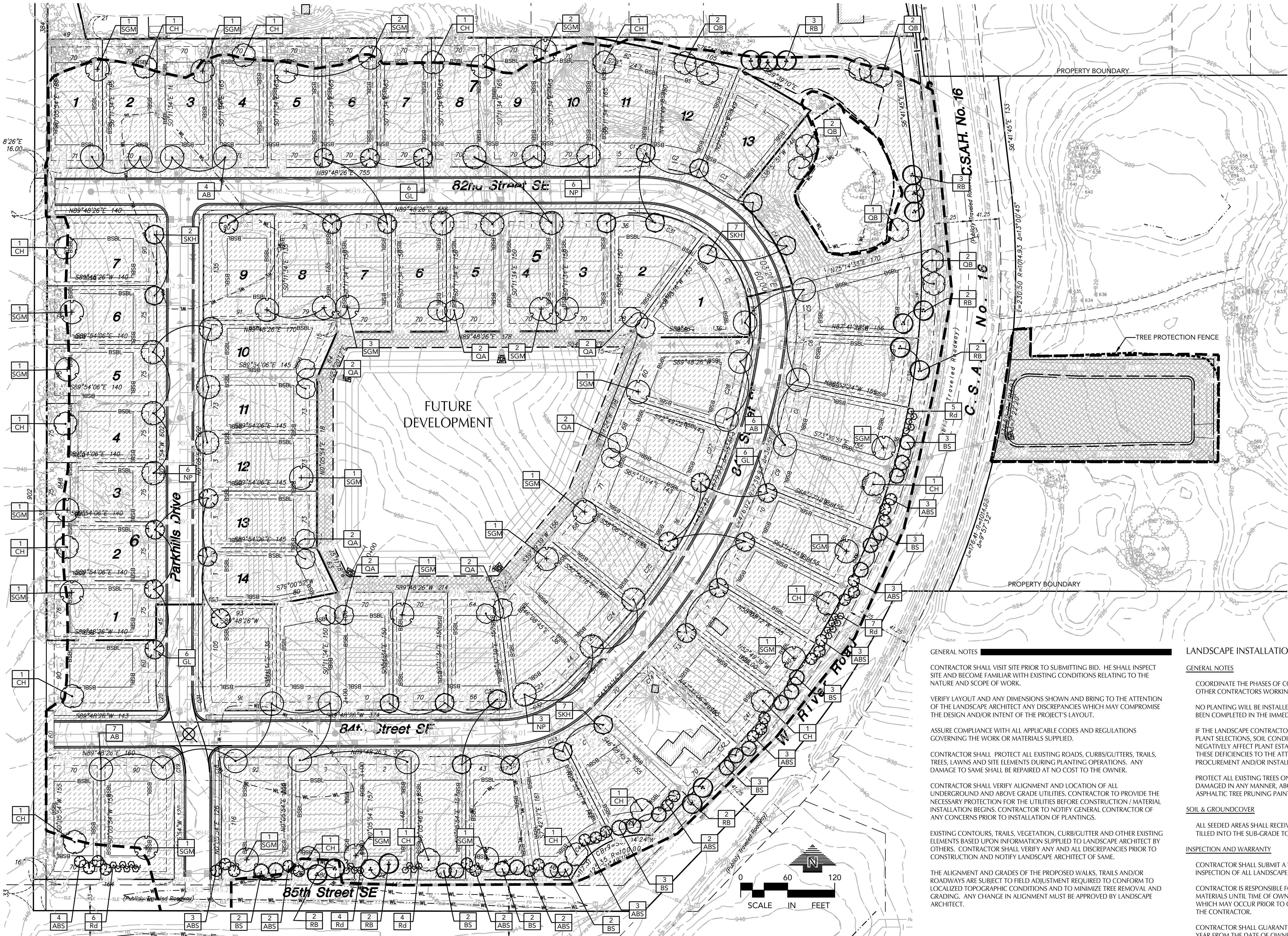
Loucks Project No. 21656
Project Lead TWM
Drawn By GAJ
Checked By GAJ
Review Date 04/13/22

SHEET INDEX

C0-1	COVER SHEET
C1-1	EXISTING CONDITIONS
C2-1 - C2-3	SITE PLAN
C3-1 - C3-3	GRADING PLAN/DETAILS
C3-4 - C3-6	SWPPP & NOTES
C4-0	UTILITY OVERALL
C4-1 - C4-6	SAN.&WATERMAIN PLAN
C5-1 - C5-6	STORM & STREET PLAN
C8-1 - C8-3	DETAILS
L1-1 - L1-3	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

TREE
 INVENTORY
 EAST
 L1-3

Plotted: 04/09/2024 9:54 AM \\10.0.1.11\projects\2021\2165\CADD\DATA\LANDSCAPE.dwg Sheet File: L2-1 Landscape Plan



LANDSCAPE PLAN

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME
GROUND COVERS				
	Seed 1	614,624 sf	COVER CROP SEED MIX MNDOT 22-112 - 2 to 5 YEARS COVER	
	Seed 2	19,168 sf	40 LBS. PER ACRE PRAIRIE SEED MIX BWSR 35-441 MESIC PRAIRIE NORTHWEST	

EXHIBIT G-1

LANDSCAPE INSTALLATION

GENERAL NOTES

- COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.
- PROTECT ALL EXISTING TREES ON SITE SCHEDULED TO REMAIN. IF EXISTING TREES ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING.

SOIL & GROUND COVER

- ALL SEEDED AREAS SHALL RECEIVE (4) INCHES OF BLACK DIRT AND BE THOROUGHLY TILLED INTO THE SUB-GRADE TO A MINIMUM DEPTH OF (7) INCHES.

INSPECTION AND WARRANTY

- CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TIMING OF INSTALLATION

- UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- FALL SEEDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - SEPTEMBER 1. DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1.

PARKVIEW
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DELANO, MINNESOTA

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SUBMITTAL/REVISIONS

04/05/2024 CD'S

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
Daniel C. Rebok - LA

License No. 56877
Date 4/5/2024

QUALITY CONTROL

Loucks Project No. 21656
Project Lead TWB
Drawn By GAJ
Checked By GAJ
Review Date 04/13/22

SHEET INDEX

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L3-1	LANDSCAPE DETAILS

LANDSCAPE
PLAN
L2-1

PARKVIEW HILLS NORTH

KNOW ALL PERSONS BY THESE PRESENTS: That Backes Development, LLC, a Minnesota Limited Liability Company, fee owner of the following described property:

All that part lying West of Crow River of the South Half of the Northwest Quarter of Section 13, Township 118, Range 25.

AND

4 1/2 acres of land from Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4) of Section 14 Township 118, Range 25, commencing at the Northwest corner of Lot 12; thence North 2 chains and 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to beginning.

AND

The East 20 acres of the West 40 acres of the West end of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), except Lot 8, designated as Lot 9 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), and Lot 11 of the South Half of the Northeast Quarter (S 1/2 of NE 1/4), save and except 4 1/2 acres described commencing at the Southwest corner of Lot 11, thence North 2 chains, 53 links; thence East 17 chains and 73 links; thence South 2 chains and 53 links; thence West 17 chains and 73 links to the beginning, all in Section 14, Township 118, Range 25.

AND

All that part of Lot 12 of the Northeast Quarter of Section 14, Township 118, Range 25, which lies west of the public road across said Lot 12.

Has caused the same to be surveyed and platted as PARKVIEW HILLS NORTH, and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Backes Development, LLC, a Minnesota Limited Liability Company, has caused these presents to be signed by its proper officer this ____ day of _____, 20_____.

BACKES DEVELOPMENT, LLC

Signature Printed Name, Title

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20_____, by _____, as _____ of Backes Development, LLC, a Minnesota Limited Liability Company, on behalf of the company.

Signature Printed Name, Notary
Notary Public, _____ County, _____
My Commission Expires _____

SURVEYORS CERTIFICATION

I Max L. Stanislawski do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20_____.

Max L. Stanislawski, Licensed Land Surveyor
Minnesota License No. 48988

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing Surveyor's Certificate was acknowledged before me this ____ day of _____, 20_____, by Max L. Stanislawski, Land Surveyor, Minnesota License No. 48988.

Signature Printed Name, Notary
Notary Public, _____ County, Minnesota
My Commission Expires _____

DELANO PLANNING COMMISSION

Be it known that at a meeting held on this ____ day of _____, 20_____, the Planning Commission of the City of Delano, Minnesota, did hereby approve this plat of PARKVIEW HILLS NORTH.

By: _____, Chairperson

CITY COUNCIL, CITY OF DELANO, MINNESOTA

This plat of PARKVIEW HILLS NORTH was approved and accepted by the City Council of the City of Delano, Minnesota, at a regular meeting thereof held this ____ day of _____, 20_____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

By: _____, Mayor By: _____, Clerk

WRIGHT COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20_____.

By: _____
Wright County Surveyor

WRIGHT COUNTY LAND RECORDS

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable for the year 20_____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20_____.

By: _____
Wright County Land Records Administrator

WRIGHT COUNTY RECORDER

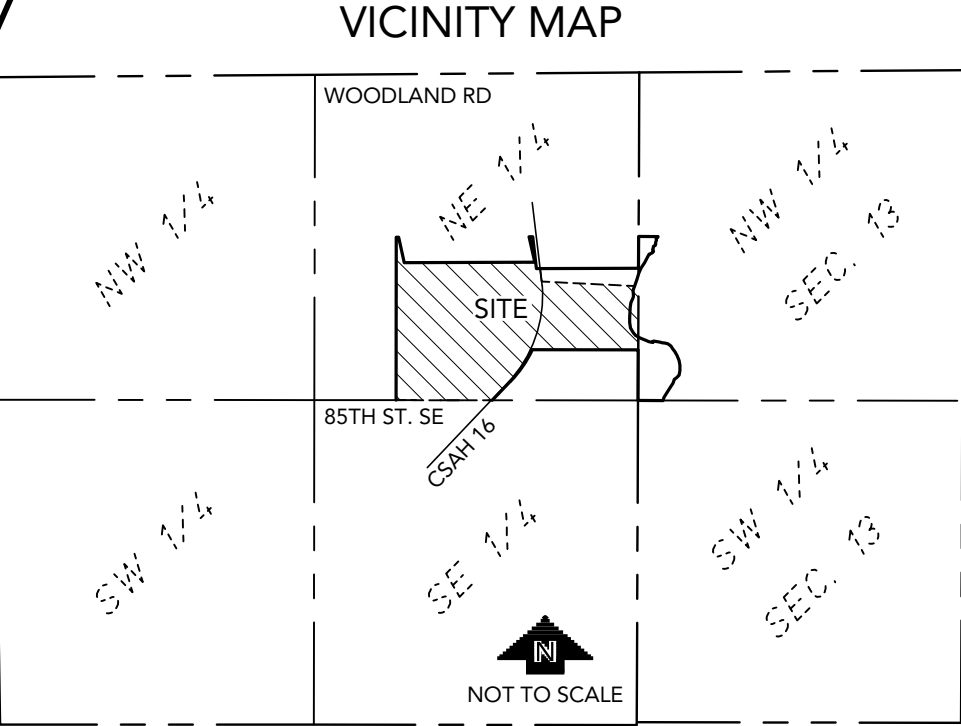
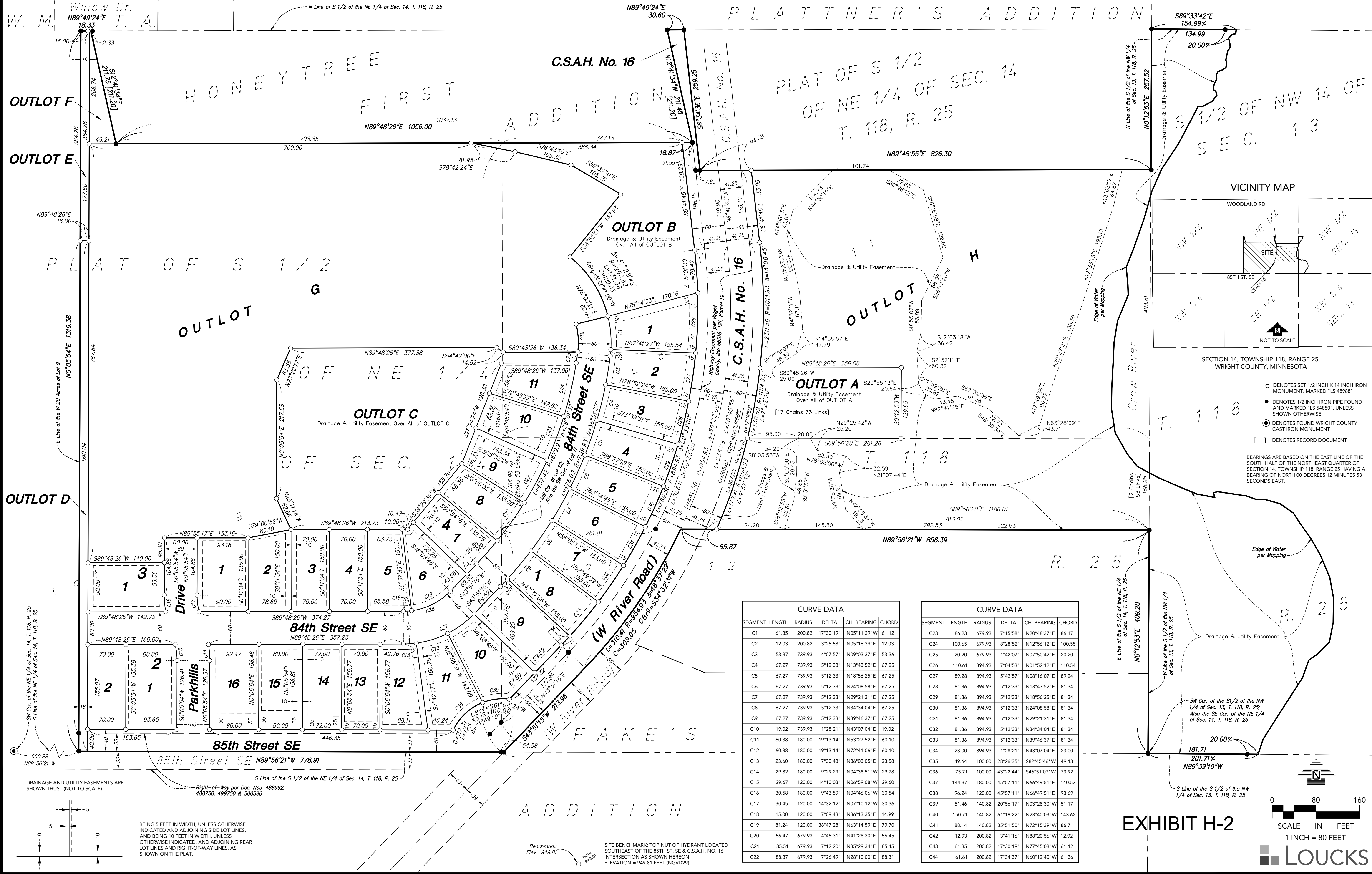
I hereby certify that this instrument was filed in the office of the County Recorder for record on this ____ day of _____, 20_____, at ____ o'clock ____M., and was duly recorded in Cabinet No. _____, Sleeve _____, as Document No. _____.

By: _____ By: _____
Wright County Recorder Deputy

EXHIBIT H-1

PARKVIEW HILLS NORTH

PLATTNER'S ADDITION



SECTION 14, TOWNSHIP 118, RANGE 25, WRIGHT COUNTY, MINNESOTA

- DENOTES SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 4898"
- DENOTES 1/2 INCH IRON PIPE FOUND AND MARKED "LS 54850", UNLESS SHOWN OTHERWISE
- ⦿ DENOTES FOUND WRIGHT COUNTY CAST IRON MONUMENT
- [] DENOTES RECORD DOCUMENT

BEARINGS ARE BASED ON THE EAST LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 118, RANGE 25 HAVING A BEARING OF NORTH 00 DEGREES 12 MINUTES 53 SECONDS EAST.

CURVE DATA				
SEGMENT	LENGTH	RADIUS	DELTA	CH. BEARING
C1	61.35	200.82	17°30'19"	N05°11'29"W
C2	12.03	200.82	3°25'58"	N05°16'39"E
C3	53.37	739.93	4°07'57"	N09°03'37"E
C4	67.27	739.93	5°12'33"	N13°43'52"E
C5	67.27	739.93	5°12'33"	N18°56'25"E
C6	67.27	739.93	5°12'33"	N24°08'58"E
C7	67.27	739.93	5°12'33"	N29°21'31"E
C8	67.27	739.93	5°12'33"	N34°34'04"E
C9	67.27	739.93	5°12'33"	N39°46'37"E
C10	19.02	739.93	1°28'21"	N43°07'04"E
C11	60.38	180.00	19°13'14"	N53°27'52"E
C12	60.38	180.00	19°13'14"	N72°41'06"E
C13	23.60	180.00	7°30'43"	N86°03'05"E
C14	29.82	180.00	9°29'29"	N04°38'51"W
C15	29.67	120.00	14°10'03"	N06°59'08"W
C16	30.58	180.00	9°43'59"	N04°46'06"W
C17	30.45	120.00	14°32'12"	N07°10'12"W
C18	15.00	120.00	7°09'43"	N86°13'35"E
C19	81.24	120.00	38°47'28"	N63°14'59"E
C20	56.47	679.93	4°45'31"	N41°28'30"E
C21	85.51	679.93	7°12'20"	N35°29'34"E
C22	88.37	679.93	7°26'49"	N28°10'00"E

CURVE DATA				
SEGMENT	LENGTH	RADIUS	DELTA	CH. BEARING
C23	86.23	679.93	7°15'58"	N20°48'37"E
C24	100.65	679.93	8°28'52"	N12°56'12"E
C25	20.20	679.93	1°42'07"	N07°50'42"E
C26	110.61	894.93	7°04'53"	N01°52'12"E
C27	89.28	894.93	5°42'57"	N08°16'07"E
C28	81.36	894.93	5°12'33"	N13°43'52"E
C29	81.36	894.93	5°12'33"	N18°56'25"E
C30	81.36	894.93	5°12'33"	N24°08'58"E
C31	81.36	894.93	5°12'33"	N29°21'31"E
C32	81.36	894.93	5°12'33"	N34°34'04"E
C33	81.36	894.93	5°12'33"	N39°46'37"E
C34	23.00	894.93	1°28'21"	N43°07'04"E
C35	49.64	100.00	28°26'35"	S82°45'46"W
C36	75.71	100.00	43°22'44"	S46°51'07"W
C37	144.37	180.00	45°57'11"	N66°49'51"E
C38	96.24	120.00	45°57'11"	N66°49'51"E
C39	51.46	140.82	20°56'17"	N03°28'30"W
C40	150.71	140.82	61°19'22"	N23°40'03"W
C41	88.14	140.82	35°51'50"	N72°15'39"W
C42	12.93	200.82	3°41'16"	N88°20'56"W
C43	61.35	200.82	17°30'19"	N77°45'08"W
C44	61.61	200.82	17°34'37"	N60°12'40"W

EXHIBIT H-2

