

2022 Project Proposal

PROJECT NAME AND NUMBER



EXHIBIT A

The Northwest Quarter of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, AND all that part of the East Half of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, lying west of the State Road running through said Quarter Section known as County State Aid Highway No. 16, formerly known as the Delano-Watertown Road, ALSO formerly known as the Watertown and Rockford Road.

Abstract Property.

ALTA/NSPS OPTIONAL TABLE A NOTES
(The following items reference Table A optional survey responsibilities and specifications)

1) Site Address: 9133 County Road No. 96, Delano, Minnesota 55328

2) Flood Zone Information: This property appears to lie in Zone X (x) determined to be outside of the 0.2% annual chance floodplain per Flood Insurance Rate Map, Community Panel No. 2795390001C, effective date of December 2nd, 1988.

3) Parent Area Information: Gross Area: 1,920.672 s.f. - 44,089 acres
R/W Area: 107,514 s.f. - 2,468 acres
Wet Area: 155,769 s.f. - 3,576 acres
Net Area: 1,857,598 s.f. - 38,049 acres

4) Benchmark: Elevations are based on MNDOT Geodetic Station Name: STENNES which has an elevation of 924.454 feet (NAVD88).

5) Zoning Information: The current Zoning for the subject property is R-2 (Single Family Residential) per the City of Delano's zoning map dated November 26, 2013. The setback height and floor space area restrictions for said zoning designation are as follows:

Principal Structure Setbacks - Streets: 30 feet (C.S.A.I.E. No. 16)
Side: 10 feet, 30 feet from a street.
Rear: 30 feet
Height: 35 feet

Please note that the zoning information shown herein may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process.

We have not received the current zoning classification and building setback requirements from the issuer.

11) Utilities: We have shown the location of utilities on the surveyed property by observation only. There may be underground utility encroaching the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this property. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that screening conditions may inhibit our ability to visually observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651-454-0802.

PREPARED BY

ENGINEER
SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY
WAYZATA, MINNESOTA 55391
PHONE: (952) 476-8000
FAX: (952) 476-0104
CONTACT: DAN SCHMIDT
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CHARLES WIEMERSLAGE, P.E.
EMAIL: CWIEMERSLAGE@SATHRE.COM

PREPARED FOR

DEVELOPER
JP BROOKS BUILDERS
1131A 89TH AVE N.
MAPLE GROVE MN 55369
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JOSH PONERLEAU
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PROPOSED DEVELOPMENT DATA

MINIMUM LOT DEPTH
135FT
MINIMUM LOT SIZE
10,000 SF

Street: 60' ROW - 32' B-B
CDS - 45' R

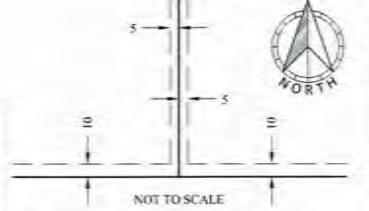
SETBACKS

Frontyard Setback: 30'
Corner Setback: 20'
Sideyard Setback: 81'
Rearyard Setback: 30'

CURRENT ZONING

R-2

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and being 10 feet in width and adjoining right of way lines, unless otherwise indicated on this plan.
Bearings are based on the Wright County Coordinate System (NAD 83 - 1988 ad.)

SURVEY LEGEND

● CAST IRON MONUMENT	○ PIEZOMETRIC	○ WALKOUT ELEVATION
● IRON PIPE MONUMENT SET	○ POWER POLE	FTE FIRST FLOOR ELEVATION
● DRILL MONUMENT FOUND	○ GUY WIRE	GFE GARAGE FLOOR ELEVATION
● DRILL HOLE FOUND	○ ROOF DRAIN	TOF TOP OF CONSTRUCTION ELEV.
● CHISELED "X" MONUMENT SET	○ LIFT STATION	LOE LOWEST OPENING ELEV.
● CHISELED "X" MONUMENT FOUND	○ SANITARY MANHOLE	CONCRETE CONCRETE
● REBAR MONUMENT FOUND	○ SANITARY CLEANOUT	BITUMINOUS BITUMINOUS
● PK NAIL MONUMENT SET	○ STORM MANHOLE	CTN CABLE TV
● PK NAIL MONUMENT FOUND	○ STORM DRAIN	CONCRETE CURB CONCRETE CURB
● PK NAIL W/ ALUMINUM DISC	○ CATCH BASIN	CONTOUR EXISTING CONTOUR EXISTING
● SURVEY CONTROL POINT	○ FLARED ENDS SECTION	CONTOUR PROPOSED CONTOUR PROPOSED
● A/T UNIT	● TREE CONIFEROUS	GUARD RAIL GUARD RAIL
● CABLE TV PEDESTAL	● TREE DECIDUOUS	DRAIN TILE DRAIN TILE
● ELECTRIC TRANSFORMER	● TREE CONIFEROUS REMOVED	ELECTRIC UNDERGROUND ELECTRIC UNDERGROUND
● ELECTRIC MANHOLE	● TREE DECIDUOUS REMOVED	FENCE FENCE
● ELECTRIC METER	● TELEPHONE MANHOLE	FIBER OPTIC UNDERGROUND FIBER OPTIC UNDERGROUND
● ELECTRIC OUTLET	● TELEPHONE PEDESTAL	GAS UNDERGROUND GAS UNDERGROUND
● YARD LIGHT	● UTILITY MANHOLE	OVERHEAD UTILITY OVERHEAD UTILITY
● LIGHT POLE	● UTILITY PEDESTAL	PIPE PIPE
● FIBER OPTIC MANHOLE	● UTILITY VAULT	TREE LINE TREE LINE
● FIRE DEPT. HOOK UP	● WATERMAN MANHOLE	SANITARY SEWER SANITARY SEWER
● FLAS-POLE	● WATER METER	STORM SEWER STORM SEWER
● FUEL PUMP	● WATER SPIGOT	TELEPHONE UNDERGROUND TELEPHONE UNDERGROUND
● FUEL TANK	● WELL	RETAINING WALL RETAINING WALL
● PROPANE TANK	● MONITORING WELL	UTILITY UNDERGROUND UTILITY UNDERGROUND
● GAS METER	● CURB STOP	WATERMAIN WATERMAIN
● GAS VALVE	● GATE VALVE	TRAFFIC SIGNAL TRAFFIC SIGNAL
● GAS MANHOLE	● HYDRANT	RAILROAD TRACKS RAILROAD TRACKS
● GENERATOR	● IRRIGATION VALVE	RAILROAD SIGNAL RAILROAD SIGNAL
● GUARD POST	● POST INDICATOR VALVE	RAILROAD SWITCH RAILROAD SWITCH
● HAND HOLE	● SIGN	SATELLITE DISH SATELLITE DISH
● MAIL BOX	● SOIL BORING	WETLAND BUFFER SIGN WETLAND BUFFER SIGN

FIELD CREW	NO.	BY	DATE	REVISION
CH MD ST	1	EMW	8/9/2021	REVISED ROW AREAS
DRAWN	2	EMW	11/9/2021	COMBINED OL A-B, 8 FOOT SETBACK
EMW	3	EMW	12/17/2021	REVISED LAYOUT
CHECKED				
DLS				
DATE				
S-8-21				

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Daniel L. Schmidt
Daniel L. Schmidt, PLS
schmidt@sathre.com

Minnesota License No. 36147

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 4th day of November, 2021.



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-8000
WWW.SATHRE.COM

TWP:118-RGE 25-SEC.23
Hennepin County
DELA
MINNESOTA

PRELIMINAR PLAT
PRAIRIE RIDGE
EXHIBIT C

FILE NO.
43688-406
1
1



STREET NOTES

1. ALL PUBLIC STREETS ARE 32' BB UNLESS OTHERWISE NOTED. DIMENSIONS ARE SHOWN BACK TO BACK.
2. STREET SECTION PER DETAIL STR-1A
STREET WIDTH 32' B-B
WEAR COURSE 1.5"
BASE COURSE 2.0'
AGGREGATE BASE CLS 8"
SAND SECTION (CL 3 OR 4) 12"
GEOTEXTILE FABRIC - AS NEEDED
3. ALL TEMPORARY, DEAD-END STREETS SHALL BE CLOSED WITH TEMPORARY BARRICADES AND ARE TO BE FULLY REFLECTORIZED AND PROPERLY MAINTAINED UNTIL THE STREET IS EXTENDED, OR TEMPORARY CUL-DE-SACS ARE REQUIRED.
4. SEE DETAILS STR-1 TO STR-13 FOR STREET DESIGN STANDARDS.
5. ALL SIDEWALKS SHALL BE 6" THICK AND 5' WIDE PER DETAIL STR-13. CONSTRUCT A PED RAMP AT EACH CURB AND/OR ROAD INTERSECTION PER STANDARD DETAIL PLATE STR-12.
6. STREET GROUTLINE SHALL BE INSTALLED 1FT BEHIND CURB. PER DETAIL STR-3. INSTALL 250 LF IN EACH DIRECTION FROM LOW POINTS & 150 LF IN UPSTREAM DIRECTION FROM CATCH BASINS ON GRADE.

STOP R1-1
30°x30° XXXX SEE DETAIL
XXXX GEN - 5

ALL STORM SEWER STRUCTURES SHALL BE EXPOSED DURING STRING LINE OF CURB TO ENSURE PROPER FIT WITH CONCRETE RINGS.



EXISTING UTILITIES SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME NO. BY DATE REVISIONS
02 PR ST 01 CAW 12/20/21 REVISE LAYOUT - SAVE TREES
DRAWN BY CAW
CHECKED BY DLS
DATE 11/10/21

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 11/10/21
Lic. No. 49120

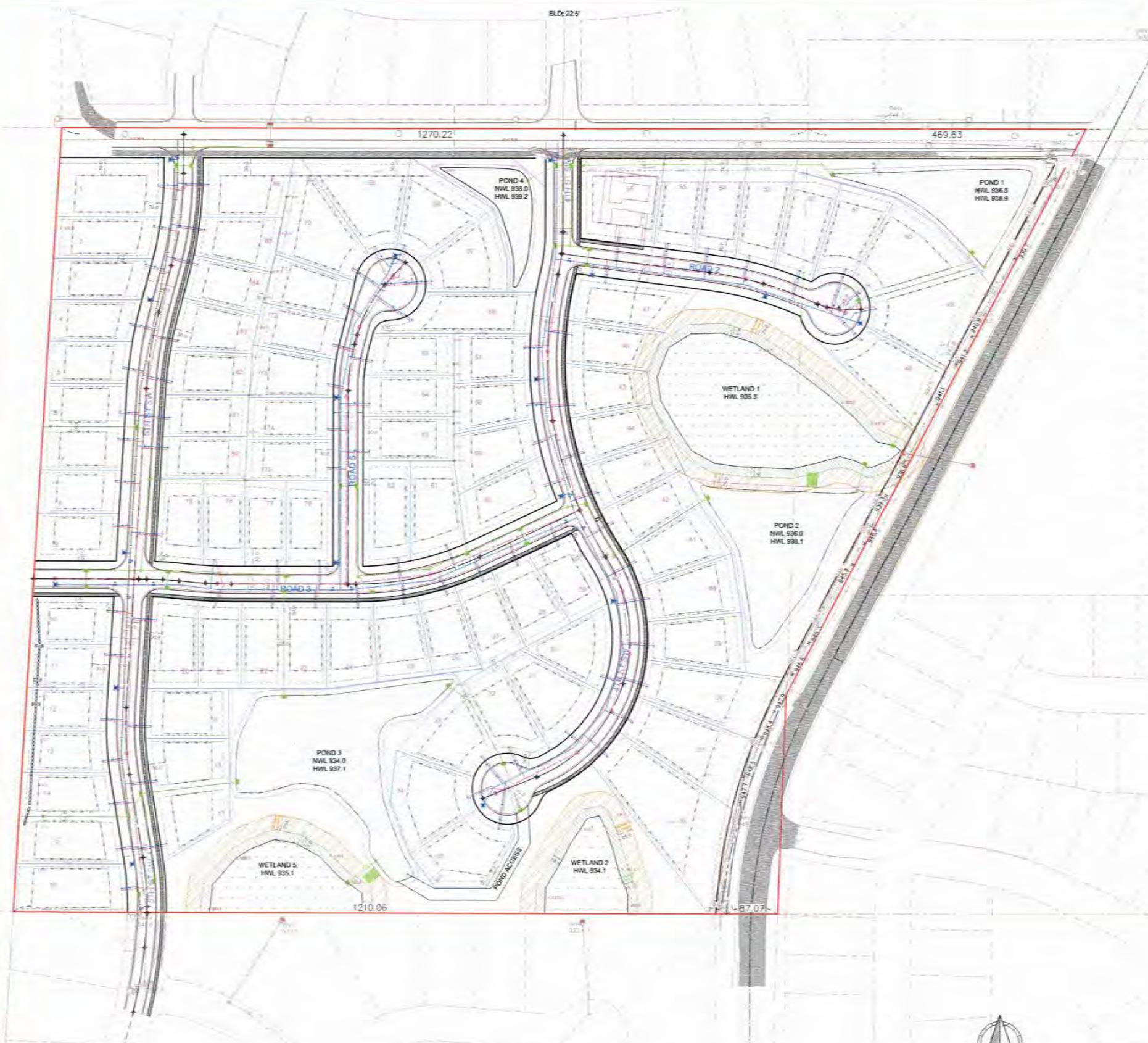


SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN 55391 (612) 476-6000

CITY PROJECT NO.
—
DELANO,
MINNESOTA

PRELIMINARY STREET PLAN
PRAIRIE RIDGE
EXHIBIT D

FILE NO.
43688-406
ST1
ST5



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO	BY	DATE	REVISIONS
03 PR UP	01	CAW	12/20/21	REVISE LAYOUT - SAVE TREE
DRAWN BY				
CAW				
CHECKED BY				
DLS				
DATE				
11/10/21				

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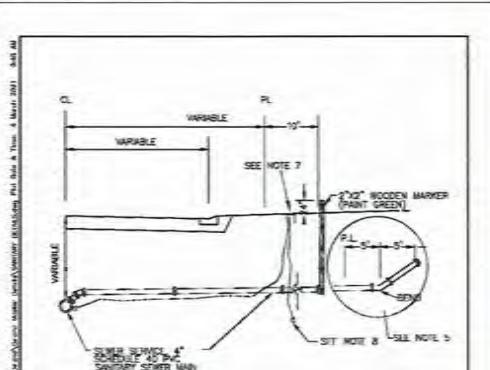
ALL STORM SEWER STRUCTURES SHALL BE EXPOSED
DURING STRING LINE OF CURB TO ENSURE PROPER FIT
WITH CONCRETE RINGS.

PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I
AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE
LAW OF THE STATE OF MINNESOTA.



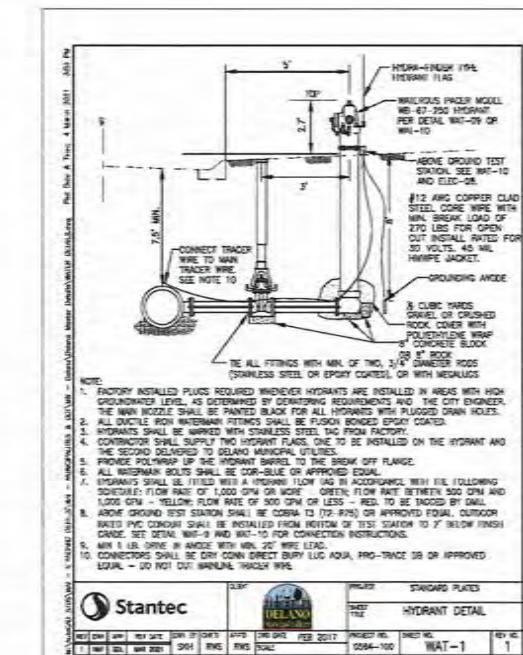
SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

CITY PROJECT NO.
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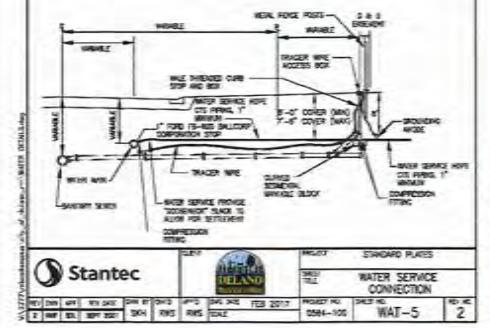
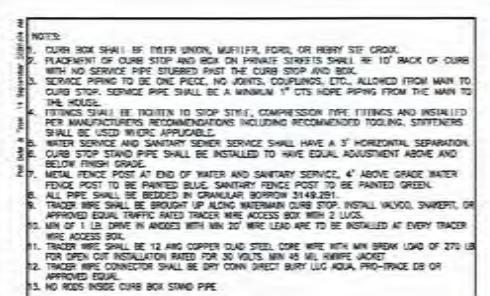


NOTES:

1. SEWER SERVICES AT SCHEDULE 40 PVC SEWER PIPE.
2. SLOPE AT 1/4" PER FOOT MINIMUM.
3. PIPE JOINTS SHALL BE NON GROOVED, SOFTEN WELD TYPE.
4. ALL JOINTS SHALL BE MADE WITH A 100% SOFT GASKET EXCEPT THE LAST TEN FEET. WHERE COARSE FILTER ADHESIVE (3149.26) WILL BE REQUIRED.
5. BENDS OF 45 OR LESS SHALL BE MADE WITHIN THE LAST 5' OF THE SERVICE IF THE DEPTH OF THE SERVICE SHOULD EXCEED 18".
6. NO SEWER JOINTS LESS THAN 12" DIAMETER SHALL BE PERMITTED.
7. TRACER WIRE SHALL BE BROKEN UP ALONG WATERLINE CUPS STOP, INSTALL GREEN VALVE, SNAKEKIT, OR APPROX EQUIVALENT. TRACER WIRE ACCESS BOX WITH 2 LUGS.
8. MIN. 10' LENGTH IN ANCHORS WITH MIN 20' WT. LEAD ARE TO BE INSTALLED AT EVERY TERRIFICATION AT REPAIR.
9. TRACER WIRE SHALL BE 12 AWG COPPER CLAD STEEL CORE WIRE WITH MIN BREAK LOAD OF 100 LB FOR OPEN CUT AND 150 LB FOR TUNNEL. MAX 45 MIL THICK JACKET. SEE THE MANUFACTURERS INSTRUCTIONS FOR OTHER INSTALLATION METHODS.
10. TRACER WIRE CONNECTOR SHALL BE DRY CORK DIRECT BURST LLG AQUA. PRO-TRACE DB OR APPROXIMATELY EQUAL.



WATER SYSTEM -		Stantec		CLERK		DELANO		STANDARD PLATES		
								SHEET NO.		HYDRANT DETAIL
REV	EDT	APP	REV DATE	DRW	DRW DATE	DRW	DRW DATE	PROJECT NO.	SHEET NO.	EDT NO.
001	001	001	001	001	001	001	001	00004-100	00001	001



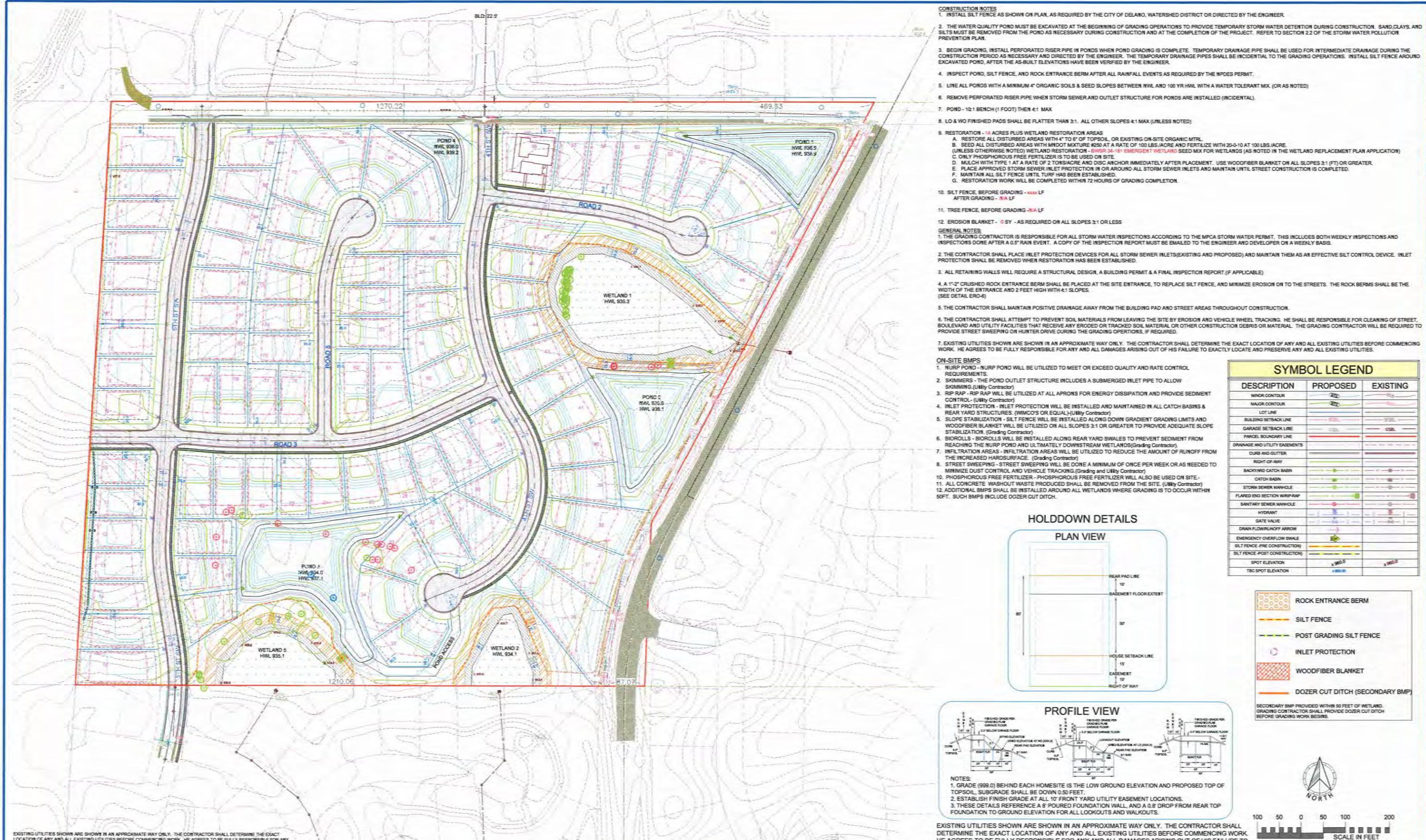
PRELIMINARY UTILITY PLANS

PRAIRIE RIDGE

EXHIBIT F

FILE NO.

UP1



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DRAWING NAME: NO. BY DATE: REVISIONS: REVISE LAYOUT - SAVE TREES
DRAWN BY: NO. 01 CAW 12/20/21
CHECKED BY: DLS
DATE: 11/10/21

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Charles A. Wiemerslage, P.E.
Date: 11/10/2021
Lic. No. 49180
Date: 11/10/2021



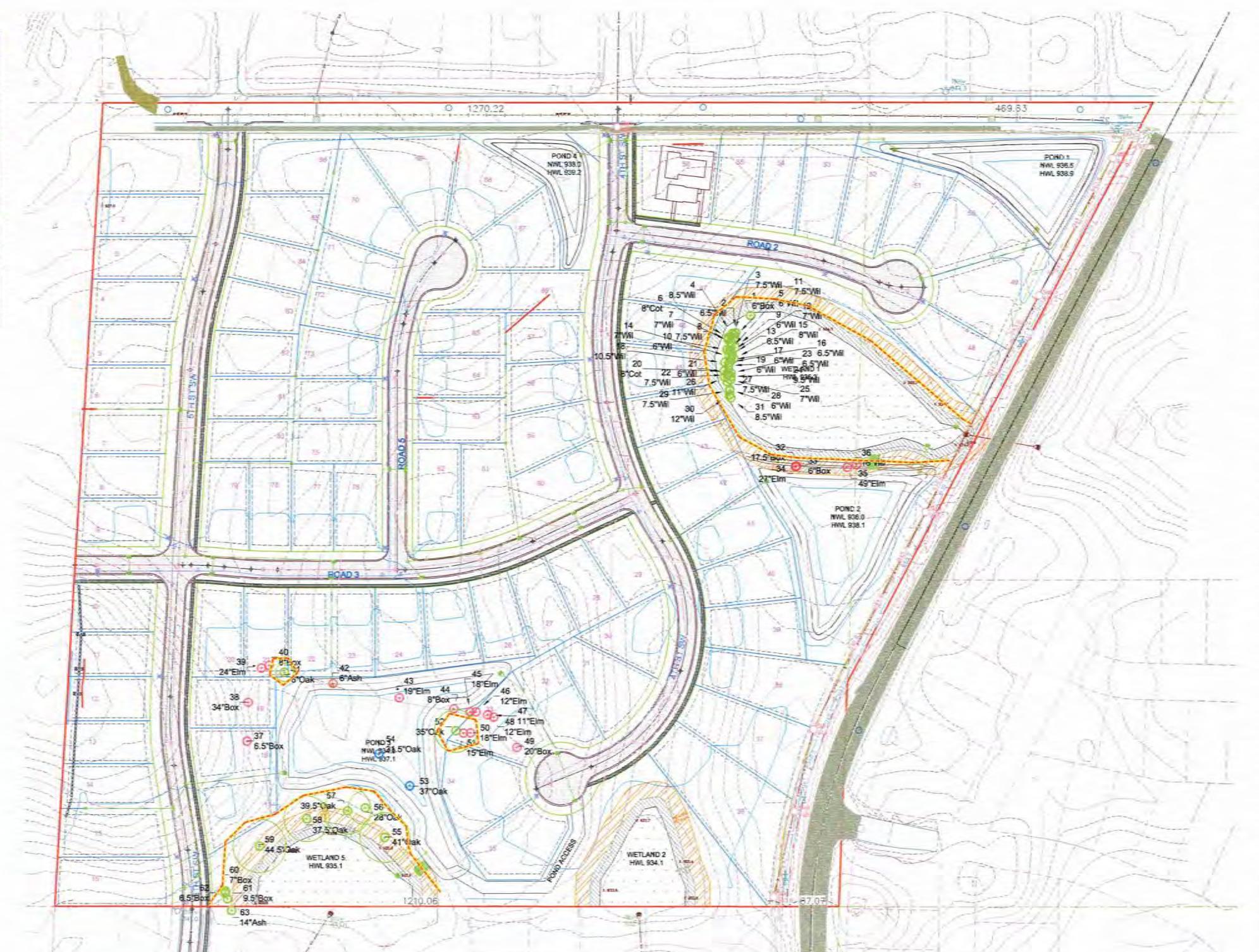
SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY, WAYZATA, MN 55391 (612) 476-6000

CITY PROJECT NO.: —
DELANO,
MINNESOTA

PRELIMINARY GRADING PLAN
PRAIRIE RIDGE
EXHIBIT G

FILE NO.
43688-406
GP1
GP4

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRAP-RAP		
SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SILT FENCE (PRE CONSTRUCTION)		
SILT FENCE (POST CONSTRUCTION)		
SPOT ELEVATION		
TSC SPOT ELEVATION		



TREE PROTECTION FENCE -
HEAVY DUTY SILT FENCE OR
DUAL ROW

100 50 0 50 100 200
SCALE IN FEET



TREE SAVED

TREE REMOVED

SIGNIFICANT TREE REMOVED

DRAWING NAME	NO.	BY	DATE	REVISIONS
05 PR TREES	01	CAW	12/20/21	REVISE LAYOUT - SAVE TREES
DRAWN BY				
CAW				
CHECKED BY				
DLS				
DATE				
11/10/21				

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CHARLES A. WIEMERSLAGE, P.E.
Date: 11/10/21
Lic. No. 49180



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY, WAYZATA, MN. 55391 (612) 476-6000

CITY PROJECT NO.
-
DELANO,
MINNESOTA

Tree #	Removed significant	Removed	Saved	Type
1				6 Box
2				6.5 Wil
3				7.5 Wil
4				8.5 Wil
5				6 Wil
6				8 Cot
7				7 Wil
8				7.5 Wil
9				6 Wil
10				6 Wil
11				7.5 Wil
12				7 Wil
13				6.5 Wil
14				7 Wil
15				8 Wil
16				6.5 Wil
17				6 Wil
18				10.5 Wil
19				6 Wil
20				8 Cot
21				6 Wil
22				7.5 Wil
23				6.5 Wil
24				9.5 Wil
25				7 Wil
26				11 Wil
27				7.5 Wil
28				6 Wil
29				7.5 Wil
30				12 Wil
31				8.5 Wil
32				17.5 Box
33				6 Box
34				27 Elm
35				49 Elm
36				16 Wil
37				6.5 Box
38				34 Box
39				24 Elm
40				8 Box
41				6 Oak
42				6 Ash
43				19 Elm
44				8 Box
45				18 Elm
46				12 Elm
47				11 Elm
48				12 Elm
49				20 Box
50				18 Elm
51				15 Elm
52				35 Oak
53				37 Oak
54				31.5 Oak
55				41 Oak
56				28 Oak
57				39.5 Oak
58				37.5 Oak
59				44.5 Oak
60				7 Box
61				9.5 Box
62				6.5 Box
63				14 Ash

Removed significant	Removed	Saved	Total
Total (in Trees)	68.5	327	499.5
	2	19	63

PRELIMINARY TREE PLAN
PRAIRIE RIDGE
EXHIBIT I

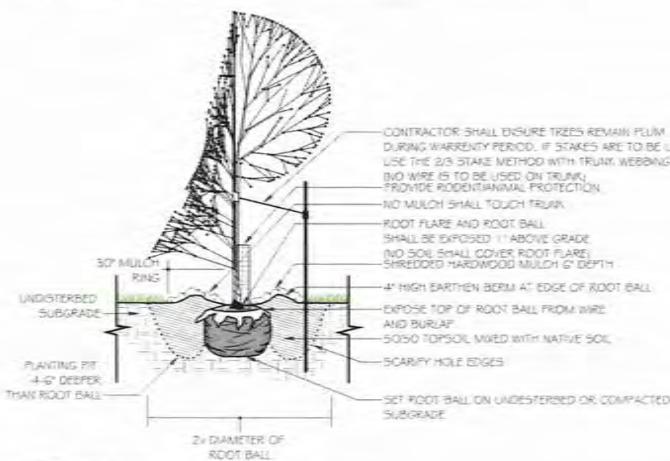
FILE NO.
43688-406
TS
TS



0 90° 180° 360°



SITE PLANTINGS
SCALE: 1"=90'



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

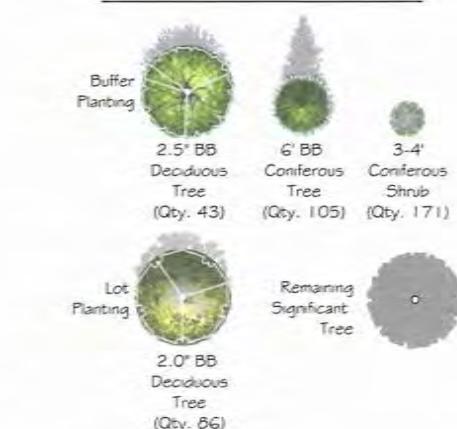
PLANTING NOTES:

- 1) TREES AND SHRUBS SHALL BE FRESHLY DUG AT TIME OF DELIVERY UNLESS CONTAINER GROWN. IF CONTAINER GROWN, PLANTS SHALL BE WATERED EVERYDAY AND KEPT IN A PARTIALLY SHADED AREA UNTIL PLANTED.
- 2) TREES TO BE PLANTED INSTEAD OF MULTI-STEM TREES SHALL HAVE A SINGLE STRAIGHT LEADER AND TAPERED TRUNK. ALL TREES SHALL BE FREE OF GIRDING ROOTS THAT HAVE ENROCHED THE TREE. TREES MUST BE IN GOOD HEALTH AND FREE OF DISEASE.
- 3) ALL TREES SHALL HAVE A MINIMUM DEPTH OF 4" PINEWOOD BARK MULCH + 2" DIAMETER RING AROUND THE BASE OF THE TREE. KEEP MULCH OFF TREE TRUNK.
- 4) THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED TO BE UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- 5) PLANTING HOLES SHALL BE FREE OF WEEDS, ROCKS, SOIL, CLAY CLUMPS, GLASS, V AND OTHER CONSTRUCTION MATERIALS.
- 6) TOPSOIL FOR BACKFILLING PLANTING HOLES SHALL BE A MIXTURE OF NATIVE AND TOPSOIL AT A RATIO OF 1:1.
- 7) CONTRACTOR SHALL EXCAVATE 5" OF SOIL IN ALL LANDSCAPE BEDS, REPLACE WITH 2" OF UNDISTURBED TOPSOIL, ENOUGH ESTABLISH A POSITIVE GRADE FROM STRUCTURES, FOUNDATIONS, PATIOS, ETC.
- 8) PLANTING BEDS PROPOSED WITH BARK MULCH, A PRE-EMERGENT HERBICIDE SHALL BE SPREAD AT PRODUCT RECOMMENDED RATIOS BEFORE DARK MULCH IS SPREAD. POLY AND PLASTIC UNDERLAYMENTS ARE NOT TO BE USED UNDER DARK MULCH.
- 9) ALL VINYL EDGINGS TO BE STOVED IN CENTER, HORIZONTAL.
- 10) NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 11) NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

GENERAL LANDSCAPE NOTES:

- 1) THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- 2) THE CONTRACTOR SHALL VERIFY PLANT LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- 4) THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBSETS, CURB, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- 5) VERIFY UTILITIES, VEHICULAR TRAVEL, ETC. WITH THE OWNER FOR PROPOSED UPLIFT AND COOPER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIVE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- 6) THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON-SITE.
- 7) THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN-SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT. SURVIVAL OF WARRANTY UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- 8) THE PLANT TAKES PRIORITY OVER THE LANDSCAPE LEND. IF DISCREPANCIES EXIST, QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLANT.
- 9) THE SPECIFICATIONS TAKE PRIORITY OVER THE PLANTING NOTES AND GENERAL NOTES.
- 10) EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIPLINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH A 4' FT. ORANGE PLASTIC SAFETY FENCE ADEQUATELY SUPPORTED BY STEEL PINE POSTS @ 8' O.C. MAXIMUM SPACING.
- 11) LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- 12) CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

LEGEND



Planting Requirements

Sect. 11-9.A.2.

The developer shall plant One (1), 2.0 in. cal. (or greater) tree within the front yard the each front lot.

Sect. 11-9.A.3.

The developer shall buffer with plantings, berthing, and or fencing all required buffer yards.

Sect. 9-5.A.

The developer shall be required to replace each significant tree removed with two (2) replacement trees.

Planting Proposal

Sect. 11-9.A.2.

It is proposed that one Deciduous tree from the approved list of trees be planted in the front yard, 6-8 feet away from driveways, sidewalks, utilities.

Sect. 11-9.A.3.

It is proposed that a mix of deciduous overstory trees, coniferous trees, and deciduous shrubs creating a buffer that provides 80% opacity cover required

Sect. 9-5.A.

Per the Tree Preservation Plan, five (5) qualifying trees are to be removed. It is proposed that the ten (10) trees required for replacement (5x2), be planted as part of the buffer yard deciduous overstory and coniferous trees.

* see civil grading plans for groundcover specifications

Lot Plant Schedule

OVERSTORY TREES	Cont.	Qty.	Code
American Elm	Ulmus americana	2.5' BB	13 AE
American Linden	Tilia americana	2.5' BB	11 AL
Bur Oak	Quercus macrocarpa	2.5' BB	7 BO
Common Hackberry	Celtis occidentalis	2.5' BB	10 HB
Honey Locust	Gleditsia triacanthos var. inermis	2.5' BB	12 HL
Red Maple	Acer rubrum	2.5' BB	21 RM
Sugar Maple	Acer saccharum	2.5' BB	11 SM

Buffer Plant Schedule

OVERSTORY TREES	Cont.	Qty.	Code
American Elm	Ulmus americana	2.5' BB	6 AE
American Linden	Tilia americana	2.5' BB	6 AL
Honey Locust	Gleditsia triacanthos var. inermis	2.5' BB	5 HL
Kentucky Coffee Tree	Gymnocladus dioica	2.5' BB	6 KC
River Birch	Betula nigra	2.5' BB	6 RB
Red Maple	Acer rubrum	2.5' BB	3 RM
Sugar Maple	Acer saccharum	2.5' BB	7 SM
Swamp White Oak	Quercus bicolor	2.5' BB	4 SO

Evergreen Trees

Evergreen Trees	Cont.	Qty.	Code
Black Hills Spruce	Picea glauca densata	6 BB	29 BM
Balsam Fir	Abies balsamea	6 BB	14 FR
Norway Spruce	Picea abies	6 BB	22 NS
Norway Pine	Pinus resinosa	6 BB	26 RP
White Pine	Pinus strobus	6 BB	14 WP

Shrubs

Shrubs	Habit.	Qty.	Code
Dwarfed	Gomphrena 'Bailey'	3-4	40 DW
hydrangea	Hydrangea paniculata 'Renala'	3-4	17 HD
Lilac	Syringa vulgaris	3-4	47 JL
Ninebark	Physocarpus opulifolius 'Mariesii'	3-4	28 NB
Sumac	Rhus aromatica	3-4	39 SC

Landscape Architect:



Client:



Project Location:



Certification:
I hereby certify that this plan, plan set, specification or report was prepared by me or under my direction and that I am duly registered Landscape Architect under the laws of the State of Minnesota.

Kevin Norby Registration #. 20144
Date: 12.17.2021

Copyright:
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PRAIRIE RIDGE

PRELIMINARY LANDSCAPE PLAN

Drawn By: Matt Klein Checked By: Kevin Norby
Original Issue Date: 11.09.2021 Reissue Date: 12.17.2021

Revisions:
By Date Remarks
01 MK 211110 Revise per client
02 MK 211217 Revise per city

Project Number: City Number:

EXHIBIT J / 3

PRAIRIE RIDGE

PRELIMINARY LANDSCAPE PLAN


 Drawn By: Matt Klein
 Checked By: Kevin Norby
 Original Issue Date: 11.09.2021
 Reissue Date: 12.17.2021

 Revisions:
 # By Date Remarks
 01 MK 211110 Revise per client
 02 MK 211217 Revise per city

Project Number: City Number:

EXHIBIT J

L2 / 3

ABCITIES LLC

16405 78TH AVENUE N. MAPLE GROVE

TEL: 763-242-6955

EMAIL ALBRIXIUS@GMAIL.COM

PLANNING REPORT

TO: Phil Kern
FROM: Alan Brixius
DATE: November 7, 2924
RE: Prairie Ridge – Townhome Sketch Plan
FILE NO: 432.07 24.10

BACKGROUND

In January 2022, the City approved a conditional use permit / planned unit development and an 86 single family lot preliminary plat for the Prairie Ridge subdivision. The City approval of the preliminary plat expires at the end of 2024, requiring the developer to proceed to final plat and development or have the plat approval expire.

JP Brooks is not prepared to proceed with the development of the original approved preliminary plat. They have now submitted a sketch plan for a revised CUP/PUD and preliminary plat that includes 61 single family lot and 67 townhomes lots to respond to the City's recent PUD code amendment requiring the provision on some inclusionary housing within all new residential PUD developments.

The concept plan is being presented to the Planning Commission and City Council for review and comment on the acceptability of the proposed project. The intent is to provide directions to the applicant as to whether they should proceed to a formal subdivision and zoning development applications. A sketch plan review does not convey any legal development rights to the applicants.

EXHIBITS

- Exhibit A 2021 Preliminary Plat
- Exhibit B 2024 Prairie Ridge Sketch Plan
- Exhibit C 2024 Prairie Ridge Townhome Sketch Plan
- Exhibit D Grandview Floor Plan
- Exhibit E Westview Floor Plan
- Exhibit F Birchwood Floor Plan
- Exhibit G Hazelwood Floor Plan

ANALYSIS

In August of 2024, the City adopted a zoning code amendment that requires:

Owner-occupied housing. Residential planned unit development projects intended for sale and owner occupancy shall provide fifteen (15) percent of the total dwelling units as inclusionary housing at a price affordable to households having a household income not exceeding one hundred (100) percent of Area Median Income (AMI) at time of initial sale of the dwelling unit.

To meet this requirement, the revised sketch plan proposes a combination of single family home and townhome within a revised Prairie Ridge subdivision. In review of the sketch plan Staff offers the following review comments.

Zoning: In 2022, the site was zoned R-3 Single family zoning in response to the original Prairie Ridge Subdivision application. The city approved the plat with the condition that all the lots meet the R-3 minimum lot area and width requirements, with the lots abutting the Fox Meadows plat to the south meeting the R-2 lot area and width standards. The introduction of the townhomes will require that a portion of the subdivision be zoned R-7 Medium and High-Density District

Single Family Lot Size.

The approved preliminary plat required the following conditions.

1. All the interior lots meet or exceed the R-3 district minimum lot area and width standards. R-3 district requires a lot area of 10,500 sq. ft. and lot width of 70 feet.
2. Corner lots 9, 10, 29, 76, 79 fall below the R-3 corner lot requirements of 12,000 sq. ft. of lot area and 90 feet of lot width. Corner lots 20, 47, 60, 62 fall below the R-3 corner lot width requirement of 90 feet. The city approved PUD lot width flexibility to allow for a narrower corner lot width of 80 feet and reduced street side setback for these lots.
3. Lots along the periphery of the site, which border Fox Meadow to south must be designed to meet the minimum R-2 District lot requirements. R-2 district requires a minimum lot area of 12,500 sq. ft. and lot width of 80 feet.
4. Lots must meet the district lot area standards with buildable land exclusive of wetlands and wetland buffers. Lot 2, 19, 34, 49, 50, 59, 60, 62, 69 and 70 all contain wetlands. These lots cannot be approved without a TEP approval of a wetland mitigation plan allowing these wetlands to be filled and mitigated to allow for the creation of the lots.

The sketch plan now proposes single family lots having lot areas of 9,000 sq. ft. and lot widths ranging from 65 to 75 feet. This is a significant change from the previously approved preliminary plat. The reduced lot sizes would require flexibility through a conditional use permit /Planned Unit Development.

Single Family Lot Setbacks. The following table compares the required setbacks from the original Prairie Ridge preliminary plat / PUD and the current sketch plan

Setback	R-3 Lots		R-2 Lots		Sketch Plan requested setbacks
	Required	Approved	Required	Approved	
Front	30 feet				
Side Interior	10 feet	8 feet*	10 feet	10 feet	7.5 feet
Side Corner	20 feet	20 feet	30 feet	30 feet	20 feet
Rear	30 feet				

*The City approved a reduced side setback for the R-3 single family lot at the request of JP Brooks to accommodate their house models on the 70 foot wide lots.

The Planning Commission and the City Council are requested to comment on the acceptability of the reduced single-family lots; area, lot widths and setbacks being requested with the new sketch plan. The Planning Commission and City Council may consider the following options.

1. Hold to the original Prairie Ridge Preliminary plat single family lot sizes and setbacks.
2. Direct the Developer to proceed with a new Conditional Use Permit / Planned Unit Development to allow for the lot sizes and setbacks as presented in the sketch plan.

Townhomes

In response to the inclusionary housing requirements for residential planned unit developments the sketch plan proposes 67 townhome units in the northeast corner of the plat. The 67 townhomes are 51% of the housing units within the plat. The applicant has provided plan sets for the townhome units.

Zoning: To accommodate the townhomes a portion of the Prairie Ridge subdivision must be zoned R-7 Medium to High Density Residential District. The R-7 district allows townhome development by conditional use permit / planned unit development. Townhomes in this district requires 5000 sq. ft. of lot area per unit. The sketch plan has 359,000 sq. ft. in the townhome area, which is 5,358 sq. ft. per unit, meeting the City requirements.

Setbacks. The following table compares the R-7 district setbacks with the setbacks proposed in the Sketch plan.

Setbacks	R-7 District	Proposed
Front	25 feet / 30 feet*	25 feet / 30 feet
Side interior	15 feet	15 feet
Side corner	30 feet	30 feet
Rear	25 feet	15 feet**

*The front setback is 25 feet from a private street and 30 feet from a public street right-of-way.

**The applicant will pursue a reduced rear yard setback through the PUD.

Side yard setback requirements shall not be applied to common walls of two family, townhome, quadrominium, or multiple family dwelling

Two Family and Townhome Design and Construction Standards. The Delano zoning ordinance establishes the following performance standards for townhomes.

Unit Width. The minimum width of a two family or townhome dwelling unit shall be twenty-four (24) feet. Minimum floor area per unit shall be established within the zoning district.

Comment: The units meet this requirement.

Unit Size. Two family and townhome dwelling units shall have a minimum finished habitable floor area of one thousand (1,000) square feet.

Comment: The Grandview and the Westview floor plans show each unit offers 2072 sq. ft. of finished floor area. The back-to-back unit models Birchwood and Hazelwood offer 1709 sq. ft. of finished floor area. All the townhome units exceed the livable floor area requirements.

Unit Construction.

- a) Building elevations and floor plans shall be furnished illustrating exterior building materials and colors to demonstrate compliance with Section 51.03, Subd. C.3.b.3.d)) of this Ordinance. Building floor plans shall identify the interior storage space within each unit.
- b) Decks or Porches. Provision shall be made for possible decks, porches, or additions as part of the initial dwelling unit building plans.
- c) Minimum Overhang: In case of gable roof, a minimum eighteen (18) inch roof overhang, soffit shall be required for all dwelling unit building plans.
- d) Exterior Building Finish: The exterior of townhome dwelling units shall include a variation in building materials which are to be distributed throughout the building

facades and coordinated into the architectural design of the structure to create an architecturally balanced appearance. In addition, townhome dwelling structures shall comply with the following requirements:

- (1) A minimum of twenty-five (25) percent of the combined area of all building facades of a structure shall have an exterior finish of brick, stucco and/or natural or artificial stone.
- (2) Except for brick and/or natural or artificial stone, no single building facade shall have more than seventy-five (75) percent of one type of exterior finish.
- (3) For the purpose of this section, the area of the building facade shall not include area devoted windows, entrance doors, garage doors, or roof areas.

Comment: The building elevations show the exterior images of the townhomes. In review of the building details we offer the following comments.

1. The site plans do not show patios or decks associated with the townhomes. Details on outdoor space will need to be provided if the project progresses.
2. The building elevations show the minimum roof overhangs.
3. The building elevations for the Grandview and Westview models show a exterior combination of materials on the front of the townhomes. The front elevation appears to meet the above exterior building finish requirements above. More detailed building elevations must be provided if this project proceeds. The Birchwood and Hazelwood models appear to have less variation in exterior materials.

Storm Shelter. In cases where dwelling units are constructed slab on-grade, provisions shall be made to provide for storm protection either internally to the unit or in a separate storm shelter structure. Compliance with this requirement shall be based upon Federal Emergency Management Agency (FEMA) guidelines and standards which are on file with the City Building Official.

Garages.

- a) Each dwelling unit shall include, at a minimum, a two-stall garage.
- b) Garages shall comply with the following minimum size standards:
 - (1) Dwellings With Basements. Four hundred forty (440) square feet (twenty (20) feet by twenty-two (22) feet).
 - (2) Dwellings Without Basements. Five hundred (500) square feet (twenty (20) feet by twenty-five (25) feet).
 - (3) Garages shall be a minimum of twenty (20) feet in width.

Comment: The townhomes will be slab on grade construction. By code dwellings without basements are required to provide a garage size of 500 sq. ft. to provide for household

storage needs. The Grandview and Westview models offer a garage size of 406 sq. ft. and the Birchwood and Hazelwood models offer a garage size of 385 sq. ft.

Applicants will be seeking PUD flexibility for garages smaller than the City standard. In pursuing this flexibility, the Applicant must demonstrate that the proposed garage size is sufficient to address need garage storage (two cars, bicycles, trash and recycling equipment and other ancillary household equipment). The applicant must provide a garage diagram showing the garage storage uses fitting into the proposed space. The floor plans must demonstrate interior storage areas to compensate for the reduced garage size.

Utilities.

- a) Public Utility Service. Separate public utility services shall be provided to each unit unless exempted by the City Engineer.
- b) Sewer Connection. Where more than one (1) unit is served by a sanitary sewer service, all maintenance and cleaning shall be the responsibility of the property owners' association or owners.

Comment: These details will be required if this project proceeds to preliminary plat.

Homeowners' Association. A homeowners' association shall be established for all townhome developments subject to review and approval of the City Attorney. The homeowners' association shall be responsible for all exterior building maintenance, approval of any exterior architectural modifications, landscaping, snow clearing and regular maintenance of private driveways and other areas owned in common when there is more than one (1) individual property owner having interest within the development.

Comment: The townhomes will be covered by a Homeowners' association. The HOA documents will be reviewed and approved by the City Attorney. The number of townhomes contributes to the financial viability of the HOA in addressing the long-term maintenance of the private street and common elements.

Streets. The plat shows a combination of public and private streets. The public street meets the city street standards. 5th Street SE is a minor collector street, having a 66 foot wide right-of-way and a 38 foot street surface. Other public streets will have a minimum of 60 foot right-of-way and 33 street width.

The Townhome development will be served by four private streets, having width ranging in width from 24 to 26 feet. These streets shall be posted no parking. These streets will be owned and maintained by the Townhome HOA. With the reduced street width, high number of driveways, and minimum boulevard, the Applicant has identified locations for snow storage.

Parking. The Zoning code requires 2.25 parking stalls per townhome unit. The site plan provides two parking stalls in the garage, two stalls in the driveway leading to the garage

and 20 additional guest parking stalls along private streets. The arrangement meets the required parking numbers.

The number and spacing of the townhome driveways on the private drives raises concern for site access, utility services, snow storage and landscaping. In this regard, the following standards will be considered if this project proceeds to preliminary plat.

1. PUD restriction on driveway widths for the townhome units.
2. Protection of the spaces between the townhome driveways.
3. Front yard landscaping.
4. Location and design of utility services to individual townhome units.

Housing Affordability. The applicant shall provide pricing information on anticipated housing products to demonstrate that a portion of the housing units meet the City's inclusionary housing goals.

CONCLUSION.

The Applicant is pursuing sketch plan review prior to investing in the plan sets for preliminary plat, conditional use permit / planned unit development, zoning map amendment.

The sketch plan addresses the City's effort to promote inclusionary, attainable housing options within the city. The integration of the townhomes at the periphery of the single family works well maintaining development quality through the entire subdivision.

The Planning Commission and Council are requested to review the sketch plan and provide comments on the acceptability of the proposed subdivision and land uses. The PUD section of the Delano zoning code allows the City to consider the project and grant zoning flexibility on some of the base zoning standards. The following issues require Planning Commission and Council attention.

1. Single family lot area, width, and setbacks.
2. Rezoning a portion of the subdivision R-7 to allow for the introduction of the townhomes to the plat.
3. Townhome setbacks
4. Flexibility from the Townhome design performance standard related to exterior finishes, storm shelters, garage size.
5. Establishing PUD performance standard for driveway design, width, spacing, landscaping, unit utility service lines, etc.
6. Demonstration of the housing unit pricing to meet the inclusionary housing goals.

7. HOA documents and finances that demonstrate the long-term management, maintenance and repair of the private streets, common elements, and building exteriors.

PLANNING COMMISSION COMMENTS:

The Delano Planning Commission reviewed the concept plan and offered the following comment and recommendations.

1. The planning commission was comfortable with the introduction of townhomes into the subdivision to accomplish the inclusionary housing objectives of the City.
2. The location of the townhomes and the setback flexibility is seen as reasonable.
3. The reduced lot areas and lot widths for the single family lots should either be the same as the original preliminary plat or the developer demonstrate that proposed houses will be sized to be appropriate for the given lots. Avoid large homes that overwhelming small lots.
4. Concern was expressed over townhome garage sizes. The townhomes will be slab on grade construction. The townhomes will offer three and four bedroom options. Without basements, room for family storage is an expressed concern. The proposed two car garages sizes must accommodate two cars, and related family storage items. (garbage and recycling containers, bicycles, and other family items).
5. The Planning Commission is open to allowing some building design flexibility with the townhomes to achieve the inclusionary housing values.

The Planning Commission recommended that JP Brooks proceed to submit development applications for a zoning map amendment to allow townhomes, conditional use permit/planned unit development, and new preliminary plat. The new submissions will be required to address the aforementioned Planning Commission concerns.

The Council is asked to provide comments as to the acceptability of the concept plan and provide directions to the applicant and City Staff as to how to proceed. If the project is to proceed with new application, City Staff recommend that the Council extend the approval of the existing Prairie Ridge preliminary plat until April 30, 2025, to allow the processing of the new development applications that will replace the current preliminary plat.

Cc. Shawn Louwagie Paula Bauman Bryce Borland Scott Dornfeld.
Art Plante Lucinda Spanier

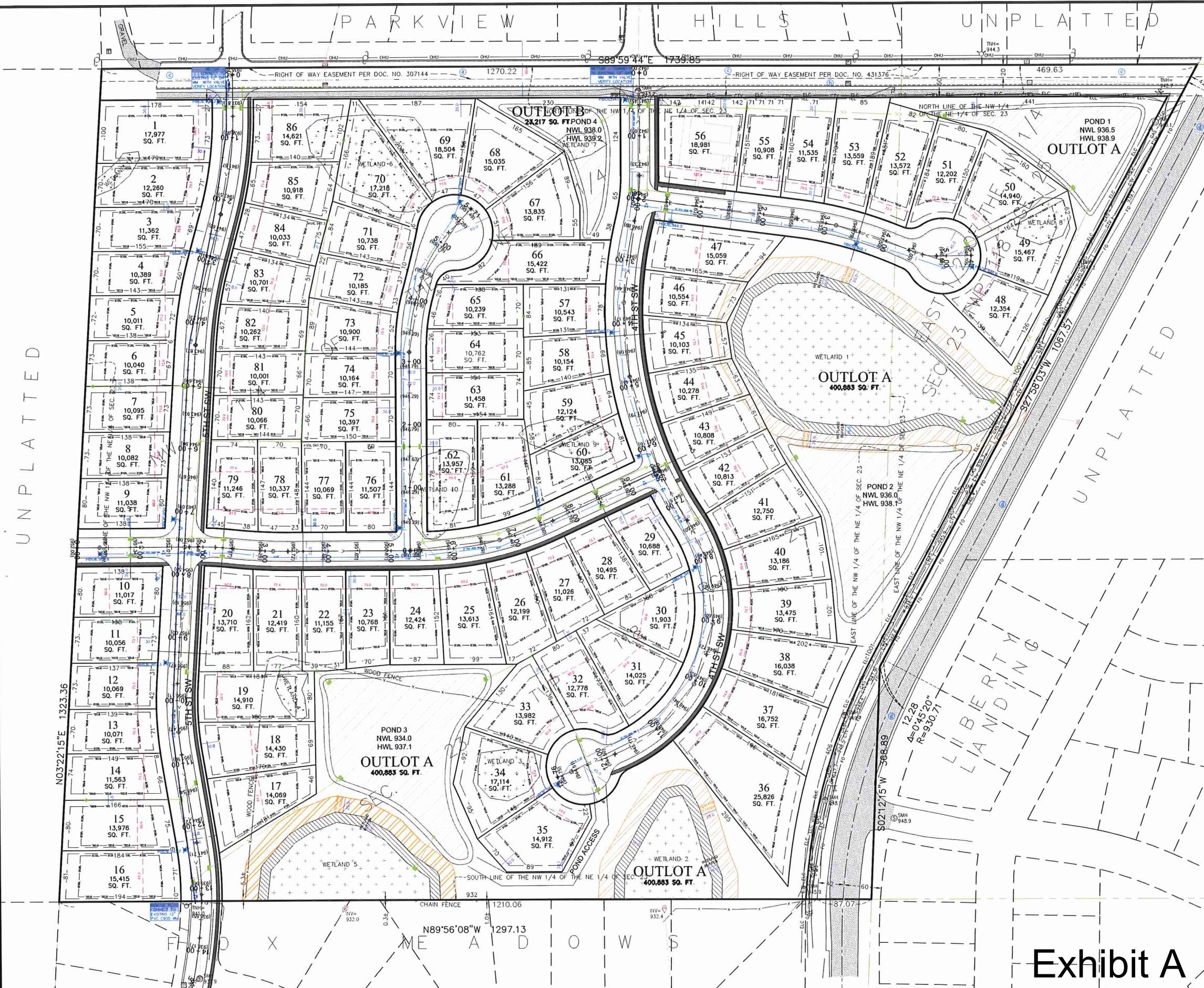


Exhibit A

DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

The Northwest Quarter of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, AND all that part of the East Half of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, lying west of the State Road running through said Quarter Section known as County State Aid Highway No. 16, formerly known as the Delano-Watertown Road, ALSO formerly known as the Watertown and Rockford Road.

Abstract Property.

ALTA/NSPS OPTIONAL TABLE A NOTES

(The following items reference Table A optional survey responsibilities and specifications)

Site Address: 9133 County Road No. 16, Delano, Minnesota 55328

Flood Zone Information: This property appears to lie in Zone X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 2705390001C, effective date of December 2nd, 1998.

Parcel Area Information: Gross Area: 1,920,672 s.f. ~ 44,093 acres
R/W Area: 107,314 s.f. ~ 2.38 acres
Wet Area: 155,760 s.f. ~ 3.576 acres
Net Area: 1,657,398 s.f. ~ 38.049 acres.

*We do not affirmatively insure the quantity of acreage set forth in the description

Benchmark: Elevations are based on MNDOT Geodetic Station Name: STENNES which has an elevation of: 924.454 feet (NAVD88).

Zoning Information: The current Zoning for the subject property is R-2 (Single Family Residential) per the City of Delano's zoning map dated November 26, 2013. The setback, height, and floor space area restrictions for said zoning designation are as follows:

Principal Structure Setbacks - Street(s): 30 feet (C.S.A.H. No. 16)

Side: 10 feet, 30 feet from a street

Rear: 30 feet

Height: 35 feet

Please note that the zoning information shown heron may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process.

We have not received the current zoning classification and building setback requirements from the insurer.

11) Utilities: We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651-454-0002.

PREPARED BY

ENGINEER
SATHRE-BERGQUIST, INC.
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PREPARED FOR

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JOSH POMERLEAU
PHONE: (763) 645-5980
EMAIL: JOSH@JPBROOKS.COM

PROPOSED DEVELOPMENT DATA

MINIMUM LOT DEPTH
135FT
MINIMUM LOT SIZE
10,000 SF

Street 60' ROW - 32'-B-B
CDS - 45' R

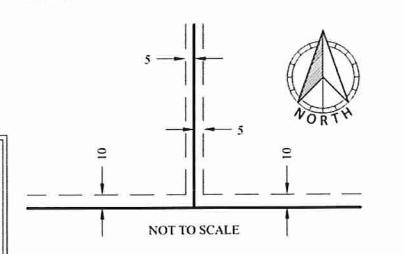
SETBACKS

Frontony Setback: 30'
Corner Setback: 20'
Sideyard Setback: 8'/8'
Rearyard Setback: 30'

CURRENT ZONING

R-2

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



NOT TO SCALE

Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and being 10 feet in width and adjoining right of way lines, unless otherwise indicated on this plat.

Bearings are based on the Wright County Coordinate System (NAD 83 - 1986 adj.).

80 40 0 40 80

SCALE IN FEET

80 40 0 40 80

● CAST IRON MONUMENT	○ PIEZOMETER
○ IRON PIPE MONUMENT SET	POWER POLE
● IRON PIPE MONUMENT FOUND	GUY WIRE
● DRILL HOLE FOUND	ROOF DRAIN
● CHISELED "X" MONUMENT SET	LIFT STATION
● CHISELED "X" MONUMENT FOUND	SAFETY MANHOLE
△ REBAR MONUMENT FOUND	STORM MANHOLE
△ P/NAIL MONUMENT SET	STORM DRAIN
△ P/NAIL MONUMENT FOUND	CATCH BASIN
△ PK/NAIL W/ ALUMINUM DISC	FLARED END SECTION
△ SURVEY CONTROL POINT	TREE CONIFEROUS
△ A/C UNIT	TREE DECIDUOUS
○ CABLE TV PEDESTAL	TREE CONIFEROUS REMOVED
○ ELECTRIC TRANSFORMER	TREE DECIDUOUS REMOVED
○ ELECTRIC MANHOLE	GUARD RAIL
○ ELECTRIC METER	DRAIN TILE
○ ELECTRIC OUTLET	ELECTRIC UNDERGROUND
○ YARD LIGHT	FENCE
○ LIGHT POLE	FIBER OPTIC UNDERGROUND
○ FIBER OPTIC MANHOLE	GAS UNDERGROUND
○ UTILITY PEDESTAL	OVERHEAD UTILITY
○ UTILITY MANHOLE	TREE LINE
○ UTILITY VAULT	SANITARY SEWER
○ FIRE DEPT. HOOK UP	STORM SEWER
○ FLAG POLE	TELEPHONE UNDERGROUND
○ FUEL PUMP	RETAINING WALL
○ FUEL TANK	UTILITY UNDERGROUND
○ PROpane TANK	WATERMAIN
○ GAS METER	RAILROAD SIGNAL
○ GAS VALVE	RAILROAD SWITCH
○ GAS MANHOLE	SATELLITE DISH
○ GENERATOR	WETLAND BUFFER SIGN
○ GUARD POST	
○ HAND HOLE	
○ MAIL BOX	

TWP:118-RGE.25-SEC.23

Hennepin County

DELANO,
MINNESOTA

PRELIMINAR PLAT
PRAIRIE RIDGE
PREPARED FOR:
JP BROOKS, INC.

FILE NO.
4368-406

1

FIELD CREW	NO.	BY	DATE	REVISION
DHMD ST	1	EMW	8/9/2021	REVISED ROW AREAS
DRAWN	2	EMW	11/3/2021	COMBINED OL A-B, 8 FOOT SETBACK
EMW				
CHECKED				
DLS				
DATE				

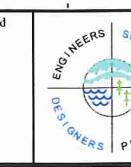
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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 4th day of November, 2021.

Daniel L. Schmidt
Daniel L. Schmidt, PLS
schmidt@sathre.com

Minnesota License No. 26147



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

DESCRIPTION OF PROPERTY SURVEYED

The Northwest Quarter of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, AND all that part of the East Half of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, lying west of the State Road running through said Quarter Section known as County State Aid Highway No. 16, formerly known as the Delano-Watertown Road, ALSO formerly known as the Watertown and Rockford Road.

Abstract Property.

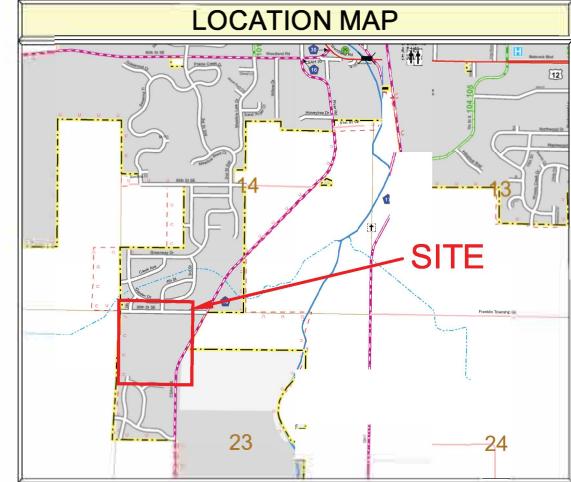
Site Address: 9133 County Road No. 16, Delano, Minnesota 55328

Flood Zone Information: This property appears to lie in Zone X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No 2703390001C, effective date of December 2nd, 1998.

Parcel Area Information:

Gross Area: 1,920,672.1 - 44.093 acres
Dry Area: 21,111.4 - 0.485 acres
Wet Area: 145,760.6 - 3.576 acres
Net Area: 1,743,801.1 - 40.032 acres.
*We do not affirmatively insure the quantity of acreage set forth in the description

LOCATION MAP



PREPARED BY

ENGINEER
SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY
WAYZATA, MINNESOTA 55391
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CHARLES WIEMERSLAGE, P.E.
EMAIL: CWIEMERSLAGE@SATHRE.COM

PREPARED FOR

DEVELOPER
JP BROOKS BUILDERS
11314 86TH AVE N.
MAPLE GROVE MN 55369
CONTACT: ART PLANTE
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JOSH POMERLEAU
PHONE: (763) 645-5980
EMAIL: JP@JPBROOKS.COM

PROPOSED DEVELOPMENT DATA

44.09 AC GROSS SITE
130 UNITS
5.71 AC - INTERNAL RIGHT-OF-WAY PUBLIC STREETS
0.485 AC - EXTERNAL ROW
11.82 AC - OPEN SPACE
26.07 AC - RESIDENTIAL - NET AREA
130 / 26.07 = 4.98 Units / AC

PROPOSED DEVELOPMENT DATA

130 lots
67 Multi-Family Units
32 - 65' Lots
31 - 75' Lots
60' Deep Pads
MINIMUM LOT DEPTH
135FT
MINIMUM LOT SIZE
9,000 SF

Street - Public: 50' ROW - 33' B-B
CDS - 46.5' R
Street - Private: 24' B-B
CDS - 46.5' R

SETBACKS
Single Family
Frontyard Setback: 30'
Come: Setback: 20'
Sideyard Setback: 7.5'
Rearyard Setback: 30'

Multi-Family
Frontyard Setback: 30' Public
25' Private
Come: Setback: 30'
Sideyard Setback: 15'
Rearyard Setback: 15'

CURRENT ZONING
R-2

WETLANDS
Manage 1
Buffer Width: 40'
Min buffer Width: 25'
Setback Width: 25'

Manage 2
Buffer Width: 25'
Min buffer Width: 16'
Setback Width: 25'

Manage 3
Buffer Width: 16'
Min buffer Width: 16'
Setback Width: 25'

** ALL WETLAND SHOWN AS MANAGE 1 TO SHOW WORST CASE SCENARIO

Wetland Buffer
Wetland Setback
Minimum Wetland Setback
With Buffer Averaging

Exhibit B

100 50 0 50 100 200
SCALE IN FEET

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
DRAWN BY				
checked				
CHECKED BY				
checked				
DATE				
xx/xx/xx				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Name, P.E.
Date: _____
Lic. No. _____



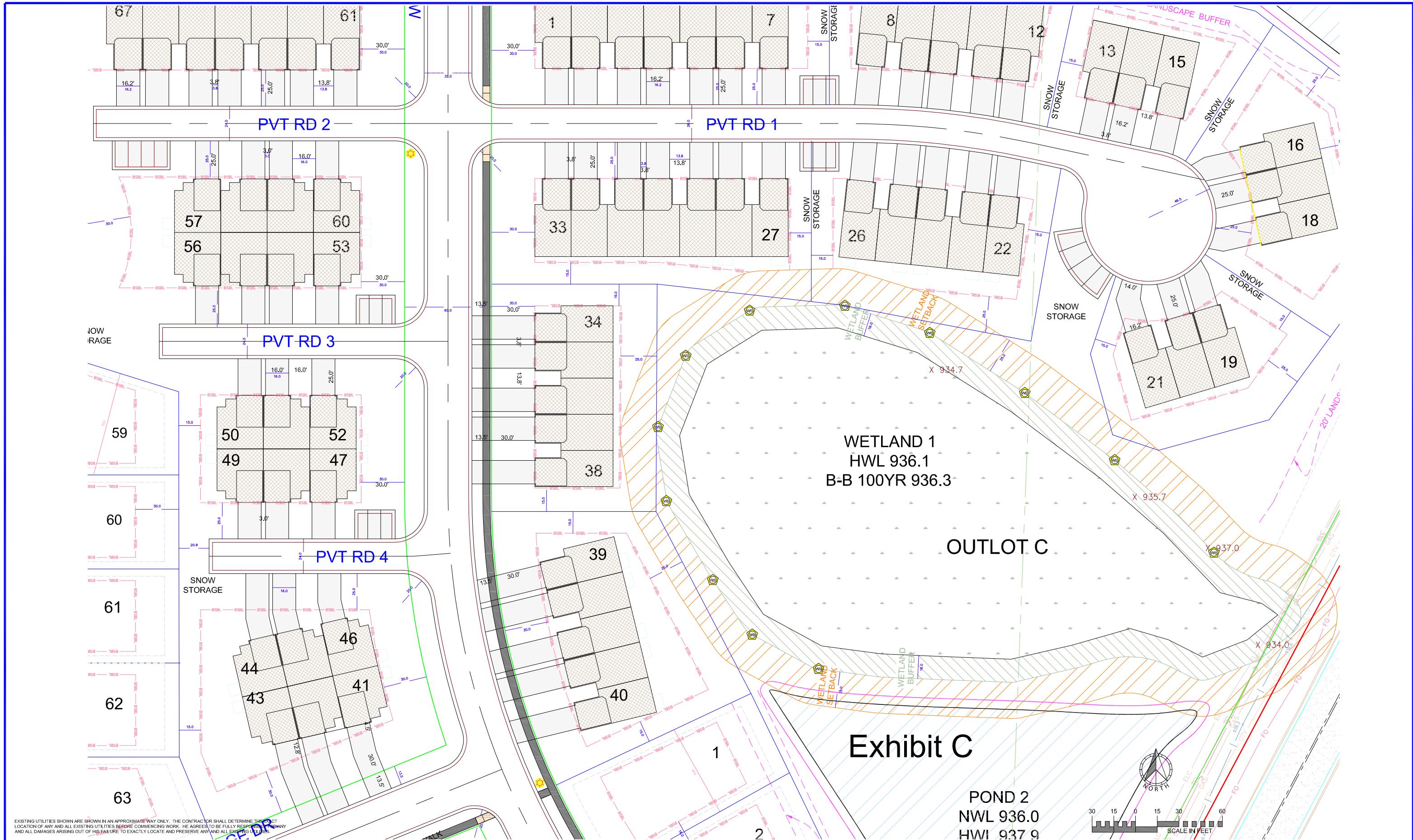
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CITY PROJECT NO.
—
DELANO,
MINNESOTA
PRAIRIE RIDGE
JP BROOKS INC.

CONCEPT PLAN 10-22-2024

FILE NO.
43688-406

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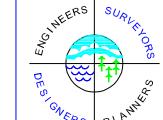
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AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.

Name, P.E.



SATHRE-BERGQUIST, INC.

150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

CITY PROJECT NO.
--
DELANO,
MINNESOTA

TOWNHOME DRIVEWAY EXHIBIT
PRAIRIE RIDGE
JP BROOKS INC.

	FILE NO.
	43688-406
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