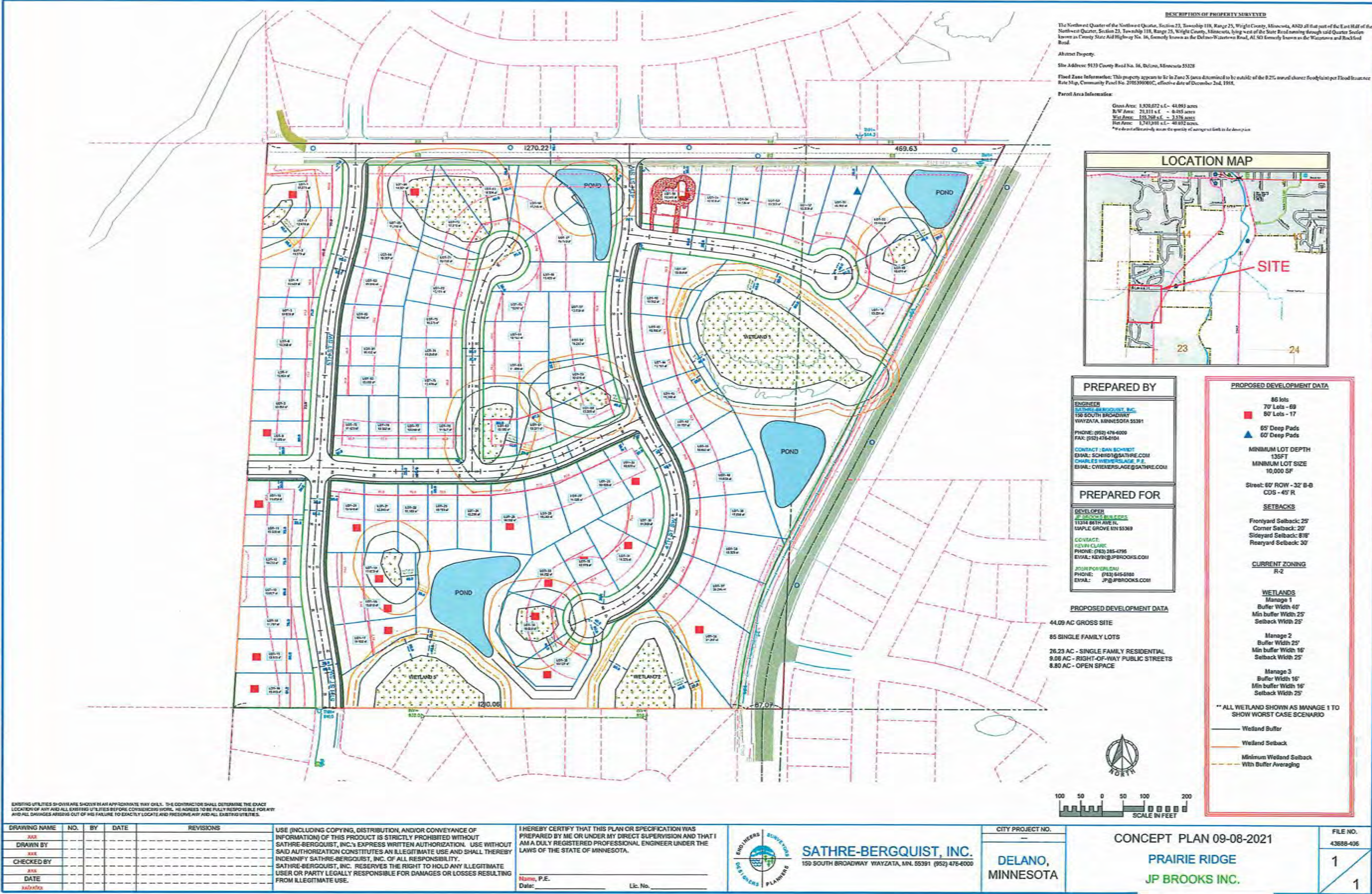
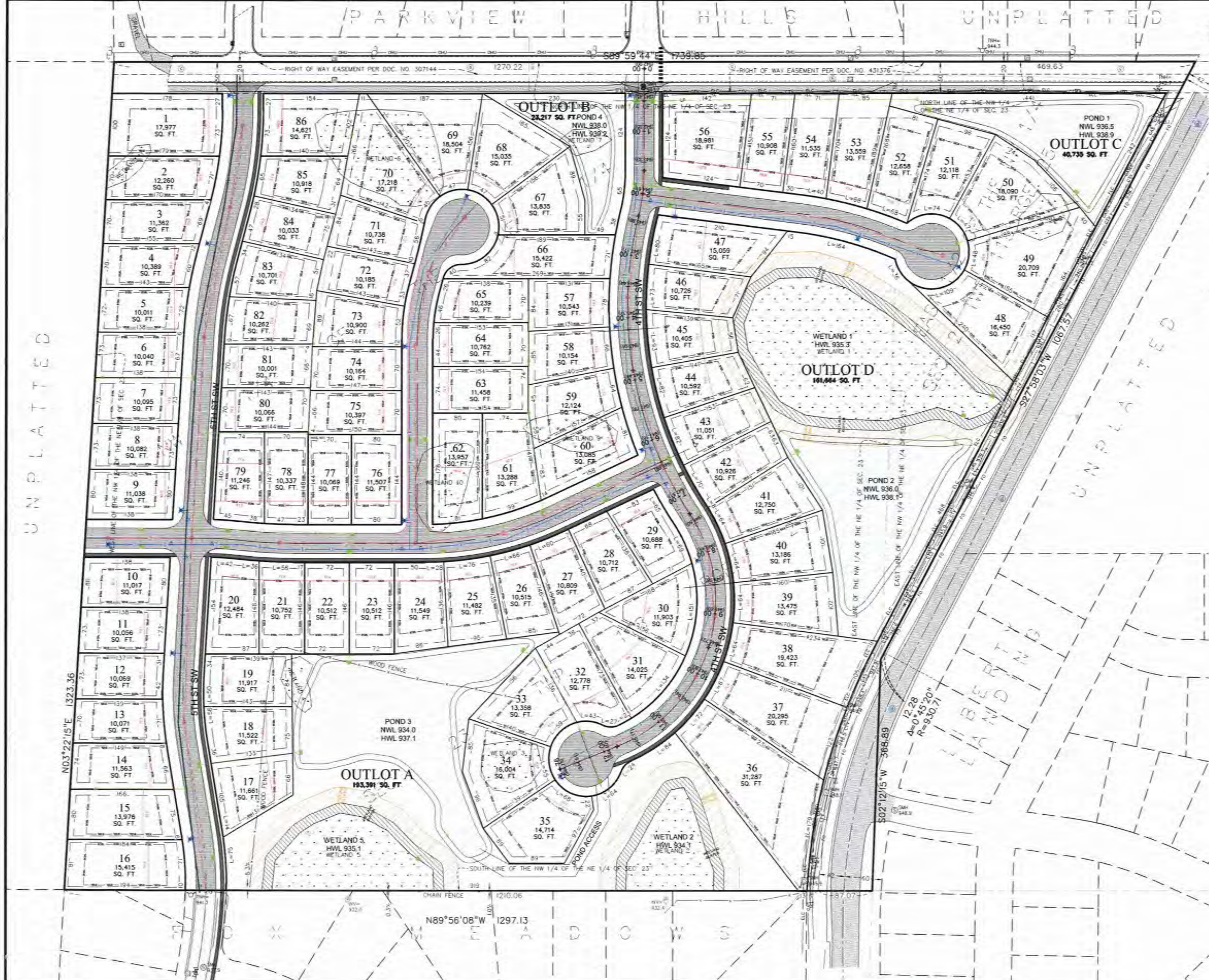


2022 Project
Proposal





DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the hereinafter referenced Title Commitment)

The Northwest Quarter of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, AND all that part of the East Half of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, lying west of the State Road running through said Quarter Section known as County State Aid Highway No. 18, formerly known as the Delano-Waerworn Road, ALSO formerly known as the Waerworn and Rockford Road.

Abstract Property:

ALTANSPS OPTIONAL TABLE A NOTES
(The following items reference Table A optional survey responsibilities and specifications)

Site Address: 9133 County Road No. 96, Delano, Minnesota 55328

Flood Zone Information: This property appears to be in Zone X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 270539001C, effective date of December 2nd, 1988.

Parcel Area Information: Gross Area: 1,926,672 s.f. - 44.093 acres
Net Area: 1,551,514 s.f. - 3.548 acres
Net Area: 1,551,514 s.f. - 3.548 acres
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Net Area: 1,551,514 s.f. - 3.548 acres

Benchmark: Elevations are based on MNDOT Geodetic Station Name: STENNES which has an elevation of: 924.454 feet (NAVD83).

Zoning Information: The current Zoning for the subject property is R-2 (Single-Family Residential) per the City of Delano's zoning map dated November 26, 2013. The setback, height, and floor space area restrictions for said zoning designation are as follows:

Principal Structure Setbacks - Streets: 30 feet (C.S.A.J.L. No. 16)
Side: 10 feet, 30 feet from a street
Rear: 30 feet
Height: 35 feet

Please note that the zoning information shown hereon may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process.

We have not received the current zoning classification and building setback requirements from the source.

Utilities: We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware of. Please note that we have not placed a Gopher State One Call for this survey. There may be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to reliably observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651-454-0002.

PREPARED BY

ENGINEER
SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY
WAYZATA, MINNESOTA 55391

PHONE: (952) 476-6000
FAX: (952) 476-0104

CONTACT: DAN SCHMIDT
EMAIL: SCHMIDT@SATHRE.COM
CHARLES WIEMERSLAGE, P.E.
EMAIL: CWIEMERSLAGE@SATHRE.COM

PREPARED FOR

DEVELOPER
JP BROOKS BUILDERS
11314 86TH AVE N
MAPLE GROVE MN 55369

CONTACT: KEVIN CLARK
PHONE: (763) 285-4795
EMAIL: KEVIN@JPBROOKS.COM

JOSH POMERLEAU
PHONE: (763) 645-5880
EMAIL: JP@JPBROOKS.COM

PROPOSED DEVELOPMENT DATA

MINIMUM LOT DEPTH
135 FT

MINIMUM LOT SIZE
10,000 SF

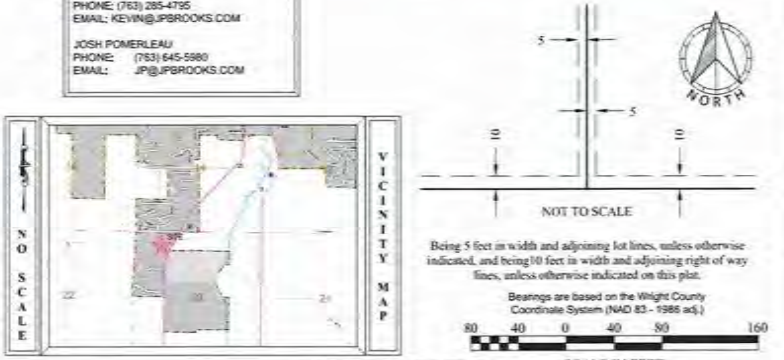
Street: 60' ROW - 32' B-B
CDS - 45' R

SETBACKS

Frontyard Setback: 30'
Corner Setback: 20'
Sideyard Setback: 8'
Rearyard Setback: 30'

CURRENT ZONING
R-2

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



SURVEY LEGEND		
CAST IRON MONUMENT	PIEZOMETER	WIDE WALKOUT ELEVATION
IRON PIPE MONUMENT SET	POWER POLE	FTE FIRST FLOOR ELEVATION
IRON PIPE MONUMENT FOUND	GUW WIRE	GE CHARGE FLOOR ELEVATION
DRILL HOLE FOUND	ROOF DRAIN	TOP OF FOUNDATION ELEV.
CHISELED "Y" MONUMENT SET	LIFT STATION	LOE LOWEST OPENING ELEV.
CHISELED "X" MONUMENT FOUND	SANITARY MANHOLE	CONCRETE
REBAR MONUMENT FOUND	SANITARY CLEANOUT	BITUMINOUS
PK NAIL MONUMENT SET	STORM MANHOLE	BUILDING SETBACK LINE
PK NAIL MONUMENT FOUND	CATCH BASIN	CABLE TV
PK NAIL W/ ALUMINUM DISC	FLARED END SECTION	CONCRETE CURB
SURVEY CONTROL POINT	TREE CONIFEROUS	CONTOUR EXISTING
A/C UNIT	TREE DECIDUOUS	CONTOUR PROPOSED
CABLE TV PEDESTAL	TREE DECIDUOUS REMOVED	GUARD RAIL
ELECTRIC TRANSFORMER	TREE DECIDUOUS REMOVED	DRAIN TILE
ELECTRIC MANHOLE	TELEPHONE MANHOLE	ELECTRIC UNDERGROUND
ELECTRIC METER	TELEPHONE PEDESTAL	FENCE
ELECTRIC OUTLET	UTILITY MANHOLE	FIBER OPTIC UNDERGROUND
YARD LIGHT	UTILITY VAULT	GAS UNDERGROUND
FIBER OPTIC MANHOLE	WATERMAN MANHOLE	OVERHEAD UTILITY
FIRE DEPT. HOOD UP	WATER METER	TREE LINE
FLAG POLE	WATER SPOUT	SANITARY SEWER
FUEL TANK	WELL	STORM SEWER
PROPANE TANK	WATERMETER	TELEPHONE UNDERGROUND
GAS METER	WATERMETER	RETAINING WALL
GAS VALVE	WATERMETER	UTILITY UNDERGROUND
GAS MANHOLE	WATERMETER	WATERMETER
GENERATOR	WATERMETER	WATERMETER
GUARD POST	WATERMETER	WATERMETER
HAND HOLE	WATERMETER	WATERMETER
MAIL BOX	WATERMETER	WATERMETER

FIELD CREW	NO.	BY	DATE	REVISION
CH MD ST	1	EMW	8/9/2021	REVISED ROW AREAS
DRAWN	2	EMW	11/9/2021	COMBINED O.A.B. & FOOT SETBACK
EMW	3	EMW	12/17/2021	REVISED LAYOUT
CHECKED				
DLS				
DATE				
5-8-21				

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 4th day of November, 2021.

Daniel L. Schmidt
Daniel L. Schmidt, PLS
schmidt@sathre.com

Minnesota License No. 26147

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

TWP:118-RGE 25-SEC 23
Hennepin County

DELANO, MINNESOTA

**PRELIMINAR PLAT
PRAIRIE RIDGE
EXHIBIT C**

FILE NO.
43688-406

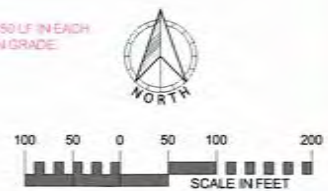
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- STREET NOTES**
1. ALL PUBLIC STREETS ARE 32' BB UNLESS OTHERWISE NOTED. DIMENSIONS ARE SHOWN BACK TO BACK.
 2. STREET SECTION PER DETAIL STR-1A
STREET WIDTH 32' B-B
WEAR COURSE 1.5"
BASE COURSE 2.0"
AGGREGATE BASE C/L 8"
SAND SECTION (CL 3 OR 4) 12"
GEOTEXTILE FABRIC - AS NEEDED
 3. ALL TEMPORARY, DEAD-END STREETS SHALL BE CLOSED WITH TEMPORARY BARRICADES AND ARE TO BE FULLY REFLECTORIZED AND PROPERLY MAINTAINED UNTIL THE STREET IS EXTENDED, OR TEMPORARY CUL-DE-SACS ARE REQUIRED.
 4. SEE DETAILS STR-1 TO STR-13 FOR STREET DESIGN STANDARDS.
 5. ALL SIDEWALKS SHALL BE 6" THICK AND 5' WIDE PER DETAIL STR-13. CONSTRUCT A PED RAMP AT EACH CURB AND/OR ROAD INTERSECTION PER STANDARD DETAIL PLATE STR-12.
 6. STREET DRAINAGE SHALL BE INSTALLED 1FT BEHIND CURB PER DETAIL STR-3. INSTALL 250 LF IN EACH DIRECTION FROM LOW POINTS & 150 LF IN UPSTREAM DIRECTION FROM CATCH BASINS ON GRADE.

STOP R1-1 30"x30" SEE DETAIL GEN - 5

ALL STORM SEWER STRUCTURES SHALL BE EXPOSED DURING STRING LINE OF CURB TO ENSURE PROPER FIT WITH CONCRETE RINGS.



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
02 PR ST	01	CAW	12/20/21	REVISE LAYOUT - SAVE TREES
DRAWN BY				
CHECKED BY				
DATE				
11/10/21				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 11/10/21 Lic. No. 49180



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 476-6000

CITY PROJECT NO.
—
DELANO, MINNESOTA

PRELIMINARY STREET PLAN
EXHIBIT D

FILE NO.
43688-406
ST1
ST5



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

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03 PR UP	01	CAW	12/20/21	REVISE LAYOUT - SAVE TREES
DRAWN BY		CAW		
CHECKED BY		DLS		
DATE				
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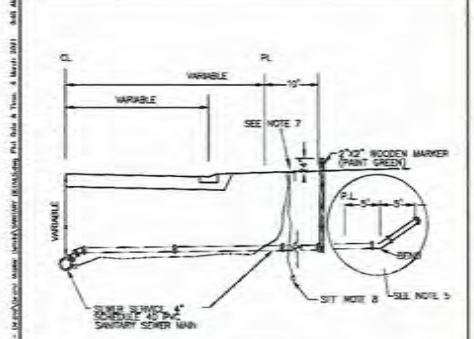
CITY PROJECT NO.

DELANO, MINNESOTA

PRELIMINARY UTILITY PLANS
PRAIRIE RIDGE
EXHIBIT F

FILE NO.
43688-406
UP1
UP5

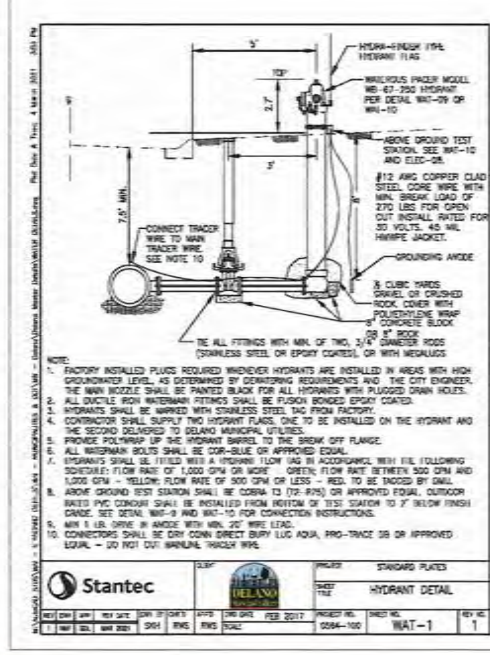
- SANITARY SEWER & WATERMAIN NOTES:**
1. SANITARY CASTINGS SHALL BE NEEDHAM R-1642.
 2. 8" SANITARY SEWER - SDR 35 TO 16", SDR 26 FOR DEPTHS OVER 16'-25". PVC C900 DR18 OVER 25' PER DETAIL GEN-7.
 3. SERVICES AND RISERS SHALL BE 4" PVC SCHEDULE 40 OR SDR-26.
 4. INTERIOR MANHOLE (M) BARRIERS ARE REQUIRED ON ALL MANHOLES (EULL'S OR APPROVED EQUAL).
 5. EXTERNAL JOINT WRAP ARE REQUIRED ON ALL MANHOLES.
 6. ALL WATERMAIN SHALL BE PVC C900 DESIGNED TO OPERATE AT 150 PSI PLUS WATERHAMMER (8" DIP CL52, 8" C900 C235 DR 18, 12" C900 C335 DR 14).
 7. BUTTERFLY GATE VALVES ARE REQUIRED ON ALL WATERMAIN 12" AND LARGER. ALL GATE VALVES SHALL HAVE STAINLESS STEEL BOLTS.
 8. CURB BOXES TO HAVE EXTENSION ROOFS TO CURB STOP.
 9. PROVIDE POLYETHYLENE WRAP (BML TUBE TYPE) AROUND ALL WATERMAIN IN ACCORDANCE WITH AWWA C-105 STANDARDS. MEG-A-LUG JOINT RESTRAINTS SHALL BE USED ON ALL FITTINGS.
 10. HYDRANTS TO BE WB NO. WB-67 250 PP MODIFIED WITH STAINLESS BOLTS. PROVIDE 2 HYDRA-FINDER MARKING DEVICE AND RE-PAINT AFTER INSTALLATION. CONTRACTOR SHALL PROVIDE 1 HYDRANT WIRECOH FOR EVERY PHASE OR EVERY 5 HYDRANTS INSTALLED, WHICHEVER IS GREATER. DETAILS WAT-1, WAT-8 & WAT-10.
 11. HYDRANT SHALL BE 8' BURY. WATERMAIN SHALL HAVE 7' 5" COVER. HYDRANT LEADS SHALL BE CLASS 52 D.I.P. HYDRANTS SHALL HAVE STORZ CONNECTIONS INSTALLED.
 12. ALL WATERMAIN BOLTS SHALL BE COR-BLUE T-BOLTS WITH PROTECTED END CAPS.
 13. TRACER WIRE SHALL BE RATED UL AND BE #12 COPPER SOLID WIRE STRAND. CONNECTED TO HYDRANT AT BOTTOM BREAKOFF BOLT WITH ELECTRICAL CONNECTOR.
 14. INSTALL TRACER WIRE (GREEN) WITH SANITARY SEWER MAIN. PLACEMENT OF CONNECTION BOXES AND GROUND ANODES SHALL BE IN THE BOULEVARD PERPENDICULAR TO THE MANHOLE STRUCTURES.
 15. 1" MINIMUM TYPE "K" COPPER SERVICE WITH CURB STOP. CURB BOXES SHALL BE INSTALLED AT THE DRAINAGE AND UTILITY EASEMENT. ALL CURB BOXES SHALL BE INSTALLED 1" INTO THE D&U EASEMENT PER DETAIL WAT-5.
 16. ALL SEWER SERVICES ARE LOCATED 3' DOWNSTREAM OF WATER SERVICES.
 17. ALL DUCTILE IRON FITTINGS SHALL BE EPOXY COATED AND WRAPPED IN POLY.
 18. ALL DROP MANHOLES TO BE LINED WITH A GSE STUDOLINER EMBEDDED INTO CONCRETE WALL AS MANUFACTURED BY ROYAL CONCRETE PRODUCTS.
 19. ARGU SURE GRP THERMOPLASTIC LINING APPROVED EQUAL.
 20. VERIFY ALL EXISTING SANITARY SEWER & WATERMAIN CONNECTIONS IN THE FIELD.
- STORM SEWER NOTES:**
1. 4" DRAIN TILE SHALL BE INSTALLED AT THE LOWPOINT CATCH BASINS 250' MIN. (STD) IN EACH DIRECTION & 150' IN THE UPHILL DIRECTION FOR ON SLOPE CATCH BASINS.
 2. 6" PERFORATED DRAIN TILE SHALL BE INSTALLED THROUGH THE INFILTRATION/FILTRATION AREAS AS SHOWN ON THE PLANS.
 3. 6" PERFORATED REAR YARD DRAIN TILE NOT WITH THE INFILTRATION/FILTRATION AREAS SHALL COMPLY TO CITY DETAIL STD-14.
 4. TIE THE LAST 3 PIPE JOINTS TO FLARED END SECTIONS (TYPICAL).
 5. TRASH GUARDS SHALL BE PLACED ON ALL FLARED END SECTIONS.
 6. TIE ALL JOINTS ON STORM SEWER BETWEEN APRONS AND OC STRUCTURES AND ALL CULVERT APRONS.
 7. WIMCO'S OR APPROVED EQUAL TO BE INSTALLED AT ALL STORM INLETS. SEE CITY DETAILS ERO-4A, ERO-4C, AND ERO-4D.
 8. GRANULAR MATERIAL SHALL BE PLACED UNDER STORM SEWER PIPE OR STRUCTURES THAT ARE LESS THAN 48" BELOW FINISHED GRADE AND EXTEND TO AT LEAST 48" BELOW FINISHED GRADE.
 9. RIP-RAP FOR STORM SEWER SHALL BE CONSTRUCTED USING GRANITE ROCK, 1" DIAMETER OR LARGER AND SHALL BE HAND PLACED.
 10. ALL ADJUSTING RINGS TO BE CONCRETE.
 11. ALL STORM STRUCTURES SHALL BE PRECAST OR POURED IN PLACE. NO BLOCK STRUCTURES ALLOWED.
 12. REMOVE ALL TEMPORARY DRAINAGE ITEMS INSTALLED WITH PREVIOUS ADDITIONS ONCE NECESSARY STORM IS INSTALLED.
 13. PLUG & MARK ALL DRAIN TILE, PUMP SERVICES.
 14. INVERTS TO BE POURED IN STORM SEWER STRUCTURES TO CONNECT THE UPSTREAM & DOWNSTREAM PIPE WITH A STRAIGHT GRADE.



NOTES:

1. SEWER SERVICES: 4" SCHEDULE 40 PVC SEWER PIPE.
2. SLOPE 1" PER FOOT MINIMUM.
3. PIPE JOINTS SHALL BE NON-GASKETED, SOCKET WELD TYPE.
4. ALL PIPE SHALL BE BEDDED IN GRANULAR BORROW (3449-20) EXCEPT THE LAST TEN FEET. INSIDE CORNER FLUTY AGGREGATE (3149-20) WILL BE REQUIRED.
5. BONDS OF 45 OR LESS SHALL BE USED WITHIN THE LAST 5' OF THE SERVICE IF THE DEPTH OF THE SERVICE SHOULD EXCEED 10'.
6. NO SERVICE RIGIDS LESS THAN 3 FEET SHALL BE PERMITTED.
7. TRACER WIRE SHALL BE BROUGHT UP ALONG WATERMAIN CURB STOP. INSTALL GREEN 'WALCO' SHAW-WALKER OR APPROVED EQUAL TRACER WIRE ACCESS BOX WITH 2 LUGS.
8. MIN OF 1 LB. DRIVE IN ANODES WITH MIN 20" WIRE LEAD ARE TO BE INSTALLED AT EVERY TERMINATION AT REAR.
9. TRACER WIRE SHALL BE 12 AWG COPPER CLAD STEEL CORE WIRE WITH MIN BREAK LOAD OF 270 LB FOR OPEN CUT INSTALLATION RATED FOR 30 VOLTS. MIN 45 MIL WAMP JACKET. SEE TRACER WIRE SPECIFICATIONS FOR OTHER INSTALLATION METHODS.
10. TRACER WIRE CONNECTOR SHALL BE DRY CONN DIRECT BURY LUG AQUA, PRO-TRACE DB OR APPROVED EQUAL.

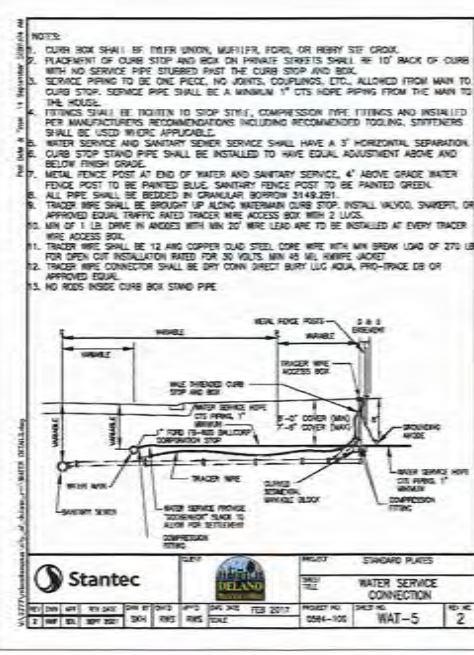
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BY: CAW	BY: CAW	BY: CAW	BY: CAW
CHECKED BY: DLS	CHECKED BY: DLS	CHECKED BY: DLS	CHECKED BY: DLS
PROJECT NO: 0564-100	PROJECT NO: 0564-100	PROJECT NO: 0564-100	PROJECT NO: 0564-100
SHEET NO: SAN-6	SHEET NO: SAN-6	SHEET NO: SAN-6	SHEET NO: SAN-6
OF 2	OF 2	OF 2	OF 2



NOTES:

1. CURB BOX SHALL BE 18" MIN. (STD) FOR 4" SERVICE. CURB SHALL BE 10" BACK OF CURB WITH NO SERVICE PIPE. CURB SHALL BE 10" BACK OF CURB WITH NO SERVICE PIPE.
2. SERVICE PIPING TO BE ONE PIECE, NO JOINTS, COUPLINGS, ETC., ALLOWED FROM MAIN TO CURB STOP. SERVICE PIPE SHALL BE A MINIMUM 1" CTS HOPE PIPING FROM THE MAIN TO THE HOUSE.
3. FITTINGS SHALL BE INSTALLED TO TOP STYLE. COMPRESSION PIPE FITTINGS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS INCLUDING RECOMMENDED TIGHTENING STIFFNESS SHALL BE USED WHERE APPLICABLE.
4. WATER SERVICE AND SANITARY SEWER SERVICE SHALL HAVE A 3" HORIZONTAL SEPARATION. CURB STOP SERVICE PIPE SHALL BE INSTALLED TO HAVE EQUAL ADJUSTMENT ABOVE AND BELOW FINISH GRADE.
5. CURB STOP SHALL BE AT END OF WATER AND SANITARY SERVICE. 4" ABOVE GRADE. WATER FENCE POST TO BE PAINTED BLUE. SANITARY FENCE POST TO BE PAINTED GREEN.
6. ALL PIPE SHALL BE BEDDED IN GRANULAR BORROW (3449-20).
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11. NO RIGIDS INSIDE CURB BOX STAND PIPE.

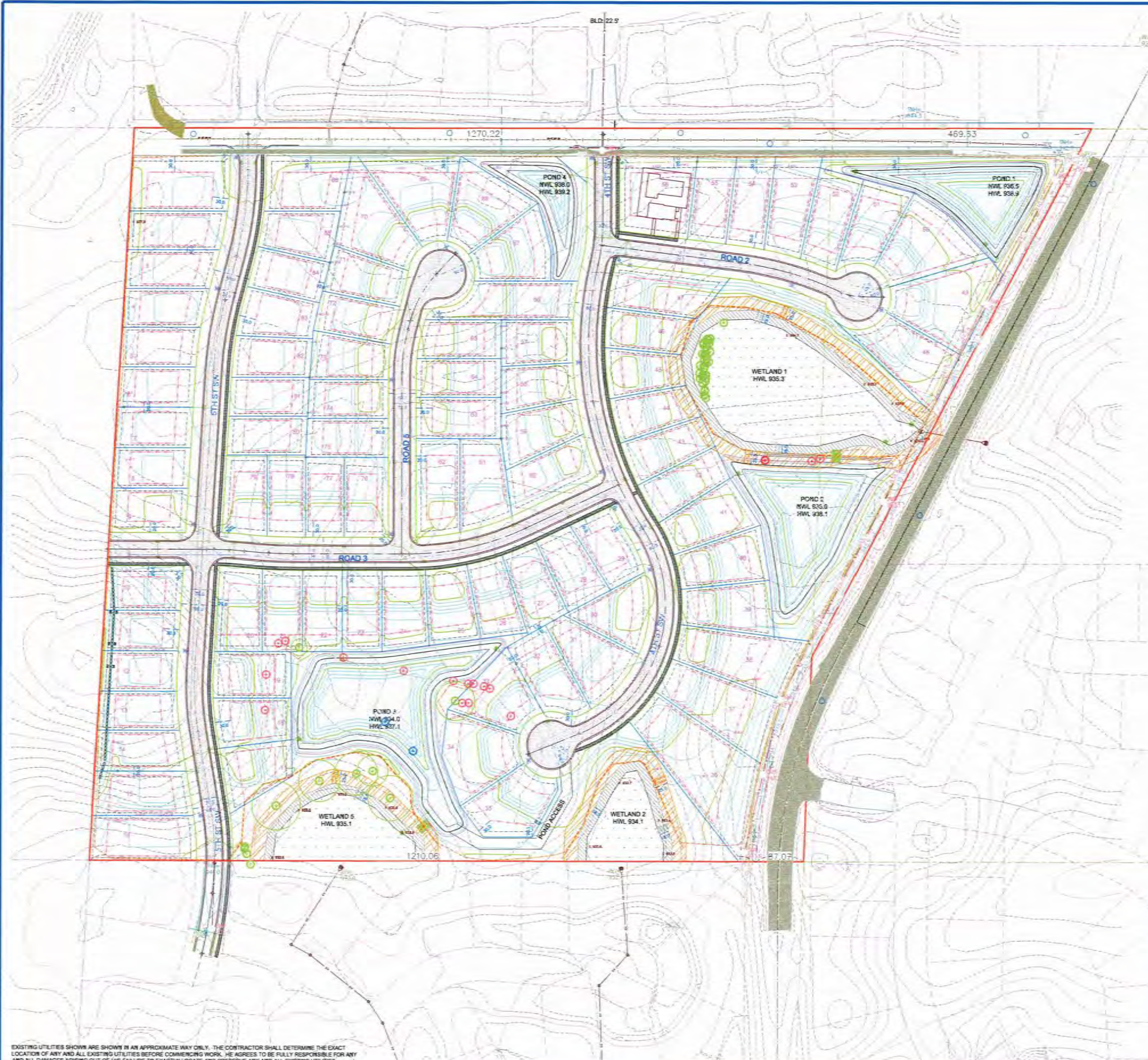
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PROJECT NO: 0564-100	PROJECT NO: 0564-100	PROJECT NO: 0564-100	PROJECT NO: 0564-100
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PROJECT NO: 0564-100	PROJECT NO: 0564-100	PROJECT NO: 0564-100	PROJECT NO: 0564-100
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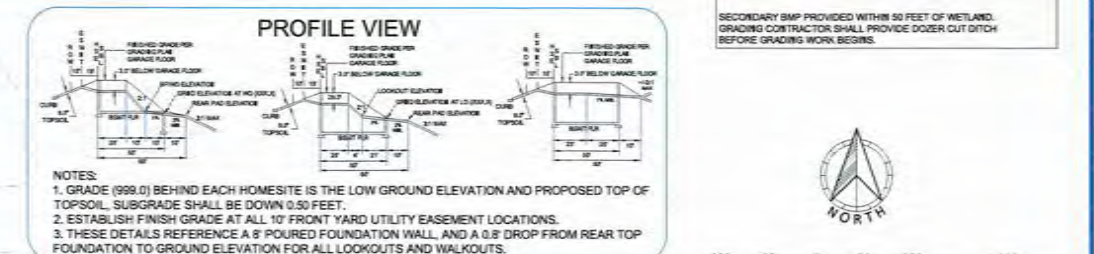
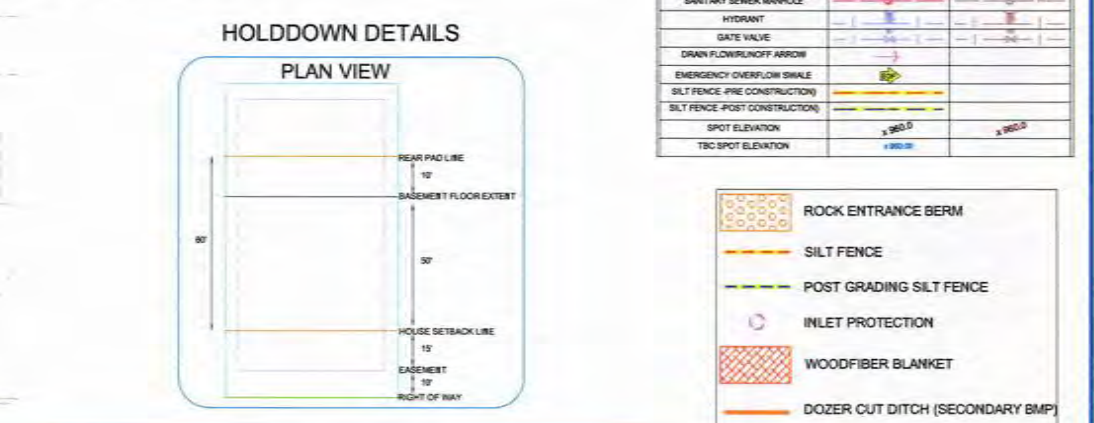


- CONSTRUCTION NOTES**
1. INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OF DELANO, WATERSHED DISTRICT OR DIRECTED BY THE ENGINEER.
 2. THE WATER QUALITY POND MUST BE EXCAVATED AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER DETENTION DURING CONSTRUCTION. SAND, CLAYS, AND SILTS MUST BE REMOVED FROM THE POND AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT. REFER TO SECTION 2.2 OF THE STORM WATER POLLUTION PREVENTION PLAN.
 3. BEGIN GRADING. INSTALL PERFORATED RISER PIPE IN PONDS WHEN POND GRADING IS COMPLETE. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. THE TEMPORARY DRAINAGE PIPES SHALL BE INCIDENTAL TO THE GRADING OPERATIONS. INSTALL SILT FENCE AROUND EXCAVATED POND, AFTER THE AS-BUILT ELEVATIONS HAVE BEEN VERIFIED BY THE ENGINEER.
 4. INSPECT POND, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
 5. LINE ALL PONDS WITH A MINIMUM 4" ORGANIC SOILS & SEED SLOPES BETWEEN NWL AND 100 YR HWL WITH A WATER TOLERANT MIX. (OR AS NOTED)
 6. REMOVE PERFORATED RISER PIPE WHEN STORM SEWER AND OUTLET STRUCTURE FOR PONDS ARE INSTALLED (INCIDENTAL).
 7. POND - 10:1 BENCH (1 FOOT) THEN 4:1 MAX
 8. LO & WO FINISHED PADS SHALL BE FLATTER THAN 2:1. ALL OTHER SLOPES 4:1 MAX (UNLESS NOTED)
 9. RESTORATION - 14 ACRES PLUS WETLAND RESTORATION AREAS
 - A. RESTORE ALL DISTURBED AREAS WITH 4" TO 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MTL.
 - B. SEED ALL DISTURBED AREAS WITH MINOT MIXTURE #250 AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-0 AT 100 LBS./ACRE (UNLESS OTHERWISE NOTED) WETLAND RESTORATION - EMERGENT WETLAND SEED MIX FOR WETLANDS (AS NOTED IN THE WETLAND REPLACEMENT PLAN APPLICATION)
 - C. ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.
 - D. MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE WOODFIBER BLANKET ON ALL SLOPES 2:1 (FT) OR GREATER.
 - E. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
 - F. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.
 - G. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
 10. SILT FENCE, BEFORE GRADING - 1000 LF
AFTER GRADING - 100 LF
 11. TREE FENCE, BEFORE GRADING - 100 LF
 12. EROSION BLANKET - 0 SY - AS REQUIRED ON ALL SLOPES 2:1 OR LESS

- GENERAL NOTES**
1. THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.
 2. THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES FOR ALL STORM SEWER INLETS (EXISTING AND PROPOSED) AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.
 3. ALL RETAINING WALLS WILL REQUIRE A STRUCTURAL DESIGN, A BUILDING PERMIT & A FINAL INSPECTION REPORT (IF APPLICABLE).
 4. A 1'-2" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES. (SEE DETAIL ERO-6)
 5. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.
 6. THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL. THE GRADING CONTRACTOR WILL BE REQUIRED TO PROVIDE STREET SWEEPING ON HUNTER DRIVE DURING THE GRADING OPERATIONS, IF REQUIRED.
 7. EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

- ON-SITE BMPs**
1. MURP POND - MURP POND WILL BE UTILIZED TO MEET OR EXCEED QUALITY AND RATE CONTROL REQUIREMENTS.
 2. SKIMMERS - THE POND OUTLET STRUCTURE INCLUDES A SUBMERGED INLET PIPE TO ALLOW SKIMMING. (Utility Contractor)
 3. RIP RAP - RIP RAP WILL BE UTILIZED AT ALL APRONS FOR ENERGY DISSIPATION AND PROVIDE SEDIMENT CONTROL. (Utility Contractor)
 4. INLET PROTECTION - INLET PROTECTION WILL BE INSTALLED AND MAINTAINED IN ALL CATCH BASINS & REAR YARD STRUCTURES. (MWCOS OR EQUAL) (Utility Contractor)
 5. SLOPE STABILIZATION - SILT FENCE WILL BE INSTALLED ALONG DOWN GRADIENT GRADING LIMITS AND WOODFIBER BLANKET WILL BE UTILIZED ON ALL SLOPES 2:1 OR GREATER TO PROVIDE ADEQUATE SLOPE STABILIZATION. (Grading Contractor)
 6. BIOROLLS - BIOROLLS WILL BE INSTALLED ALONG REAR YARD SWALES TO PREVENT SEDIMENT FROM REACHING THE MURP POND AND ULTIMATELY DOWNSTREAM WETLANDS (Grading Contractor).
 7. INFILTRATION AREAS - INFILTRATION AREAS WILL BE UTILIZED TO REDUCE THE AMOUNT OF RUNOFF FROM THE INCREASED HARDSURFACE. (Grading Contractor)
 8. STREET SWEEPING - STREET SWEEPING WILL BE DONE A MINIMUM OF ONCE PER WEEK OR AS NEEDED TO MINIMIZE DUST CONTROL AND VEHICLE TRACKING. (Grading and Utility Contractor)
 11. ALL CONCRETE WASHOUT WASTE PRODUCED SHALL BE REMOVED FROM THE SITE. (Utility Contractor)
 12. ADDITIONAL BMPs SHALL BE INSTALLED AROUND ALL WETLANDS WHERE GRADING IS TO OCCUR WITHIN 50FT. SUCH BMPs INCLUDE DOZER CUT DITCH.

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION MURP RAP		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/UNFLOW ARROW		
EMERGENCY OVERFLOW SWALE		
SILT FENCE - PRE CONSTRUCTION		
SILT FENCE - POST CONSTRUCTION		
SPOT ELEVATION		
TBC SPOT ELEVATION		



DRAWING NAME	NO.	BY	DATE	REVISIONS
04 PR GP	01	CAW	12/20/21	REVISE LAYOUT - SAVE TREES
DRAWN BY		CAW		
CHECKED BY		DLS		
DATE		11/10/21		

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Charles A. Wiemerslage
Date: 11/10/21 Lic. No. 49180

ENGINEERS SURVEYORS DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 478-8000

CITY PROJECT NO. —

DELANO, MINNESOTA

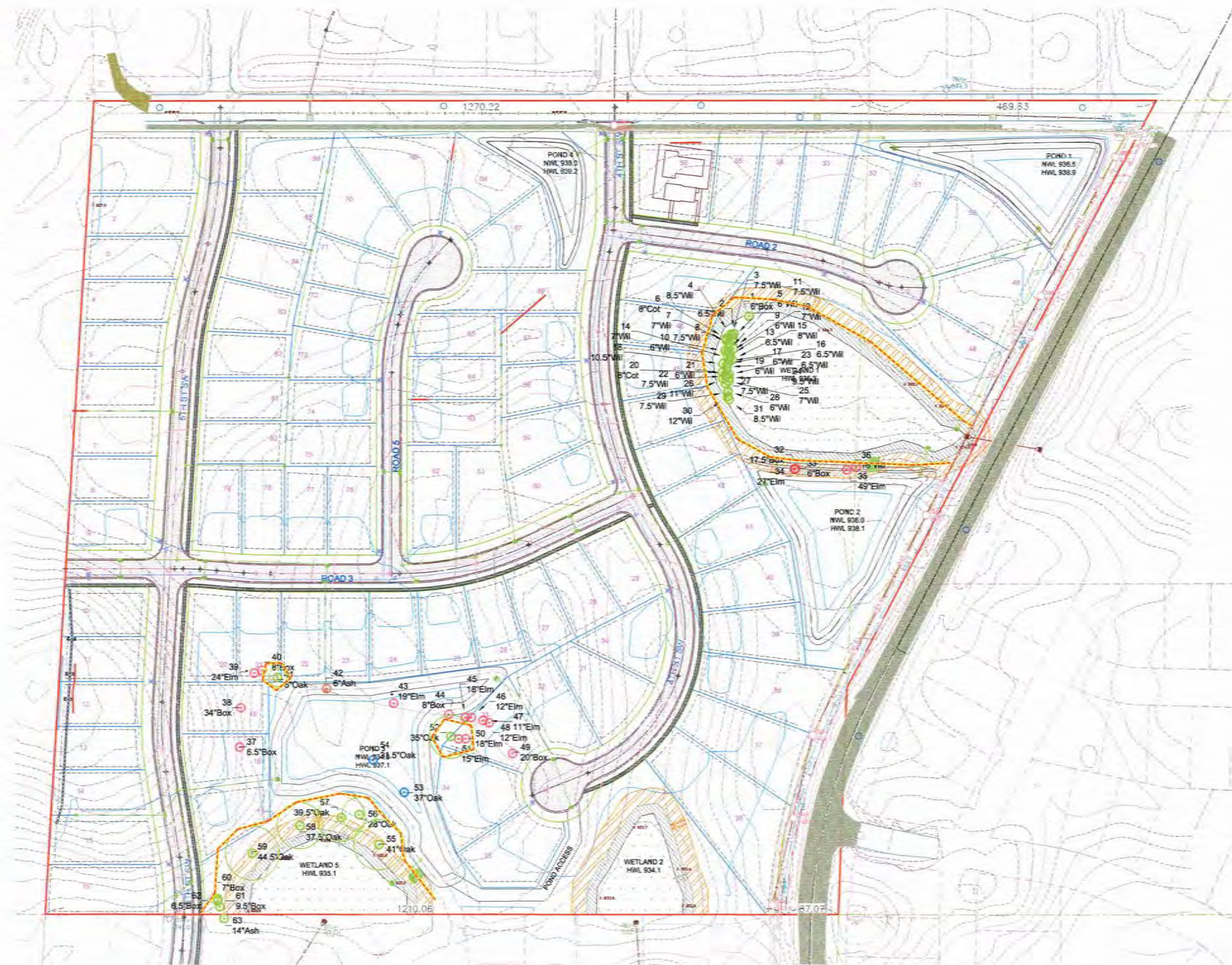
PRELIMINARY GRADING PLAN

PRAIRIE RIDGE EXHIBIT G

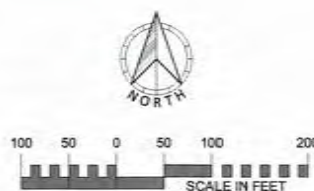
FILE NO. 43688-406

GP1 GP4

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKFILL CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/IR-RAP		
SAWTOOTH SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/TURNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SILT FENCE (PRE CONSTRUCTION)		
SILT FENCE (POST CONSTRUCTION)		
SPOT ELEVATION		
TBC SPOT ELEVATION		



— TREE PROTECTION FENCE -
HEAVY DUTY SILT FENCE OR
DUAL ROW



- TREE SAVED
- TREE REMOVED
- SIGNIFICANT TREE REMOVED

Tree #	Removed significant	Removed	Saved	Type
1			6	Box
2			6.5	Wil
3			7.5	Wil
4			8.5	Wil
5			6	Wil
6			8	Cot
7			7	Wil
8			7.5	Wil
9			6	Wil
10			6	Wil
11			7.5	Wil
12			7	Wil
13			6.5	Wil
14			7	Wil
15			8	Wil
16			6.5	Wil
17			6	Wil
18			10.5	Wil
19			6	Wil
20			8	Cot
21			6	Wil
22			7.5	Wil
23			6.5	Wil
24			9.5	Wil
25			7	Wil
26			11	Wil
27			7.5	Wil
28			6	Wil
29			7.5	Wil
30			12	Wil
31			8.5	Wil
32		17.5		Box
33		6		Box
34		27		Elm
35		49		Elm
36		16		Wil
37		6.5		Box
38		34		Box
39		24		Elm
40		8		Box
41			6	Oak
42		6		Ash
43		19		Elm
44		8		Box
45		18		Elm
46		12		Elm
47		11		Elm
48		12		Elm
49		20		Box
50		18		Elm
51		15		Elm
52			35	Oak
53		37		Oak
54		31.5		Oak
55			41	Oak
56			28	Oak
57			39.5	Oak
58			37.5	Oak
59			44.5	Oak
60			7	Box
61			9.5	Box
62			6.5	Box
63			14	Ash

	Removed significant	Removed	Saved	Total
Total (in)	68.5	327	499.5	895
Trees	2	19	42	63

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
05 PR TREES	01	CAW	12/20/21	REVISE LAYOUT - SAVE TREES
DRAWN BY				
CHECKED BY				
DATE				
11/10/21				

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CHARLES A. WIEMERSLAGE, P.E.
Date: 11/10/21 Lic. No. 49180

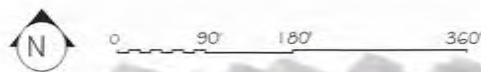


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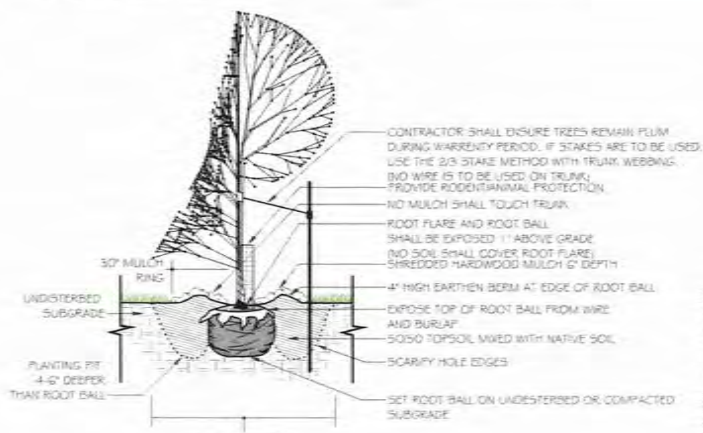
CITY PROJECT NO.
—
**DELANO,
MINNESOTA**

PRELIMINARY TREE PLAN
PRAIRIE RIDGE
EXHIBIT I

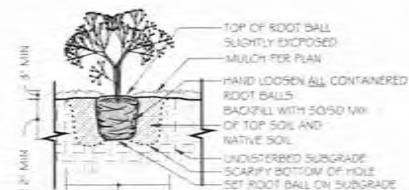
FILE NO.
43688-406
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LI 1 SITE PLANTINGS
SCALE: 1"=90'



LI 2 TYPICAL TREE PLANTING DETAIL
NOT TO SCALE



LI 3 TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

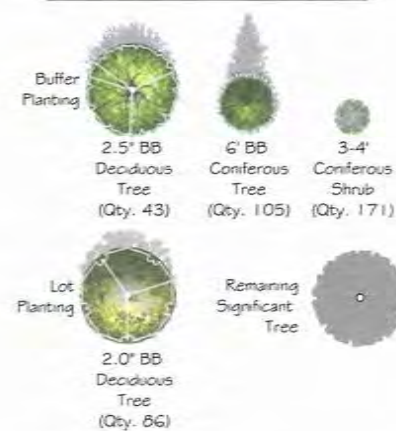
PLANTING NOTES:

- 1) TREES AND SHRUBS SHALL BE FREELY OUG AT TIME OF DELIVERY UNLESS CONTAINER GROWN. IF CONTAINER GROWN, PLANTS SHALL BE WATERED EVERYDAY AND KEPT IN A PARTIALLY SHADED AREA UNTIL PLANTED.
- 2) TREES TO BE PLANTED EXCEPT MULTI-STEM TREES SHALL HAVE A SINGLE STRAIGHT LEADER AND TAPERED TRUNK. ALL TREES SHALL BE FREE OF LARDING ROOTS THAT HAVE ENCLOSED THE TREE. TREES MUST BE IN GOOD HEALTH AND FREE OF DISEASE.
- 3) ALL TREES SHALL HAVE A MINIMUM Girth OF 6" (HARDWOOD BARK MULCH 12" DIAMETER RING AROUND THE BASE OF THE TREE. KEEP MULCH OFF TREE TRUNK).
- 4) THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT ANY PLANTS WHICH ARE DEEMED TO BE UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- 5) PLANTING HOLES SHALL BE FREE OF WEEDS, ROCKS, SOIL, CLAY CLUMPS, GLASS AND OTHER CONSTRUCTION MATERIALS.
- 6) TOPSOIL FOR BACKFILLING PLANTING HOLES SHALL BE A Mixture OF NATIVE AND TOPSOIL AT A RATIO OF 1:1.
- 7) CONTRACTOR SHALL EXCAVATE 2" OF SOIL IN ALL LANDSCAPE BEDS, REPLACE WITH 2" OF UNCOMPACTED TOPSOIL, ENOUGH TO ESTABLISH A POSITIVE GRADE FROM STRUCTURES, FOUNDATIONS, PATIOS, ETC.
- 8) PLANTING BEDS PROPOSED WITH ROCK MULCH SHALL BE Laid OVER MIN. 6 MIL BLACK POLY BACKFILL WITH 50/50 MIX OF TOP SOIL AND NATIVE SOIL.
- 9) PLANTING BEDS PROPOSED WITH BARK MULCH: A PRE-EWERGENT HERBICIDE SHALL BE SPREAD AT PRODUCT RECOMMENDED RATES BEFORE BARK MULCH IS SPREAD. POLY AND FABRIC UNDERLAYMENTS ARE NOT TO BE USED UNDER BARK MULCH.
- 10) ALL VINYL EDGING TO BE SPACED 2" ON CENTER, HORIZONTALITY.
- 11) NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

GENERAL LANDSCAPE NOTES:

- 1) THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- 2) THE CONTRACTOR SHALL VERIFY PLANT LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- 4) THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS, GUTTERS, TRAILS, TREES, GRASS AND SITE ELEVATIONS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 5) VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPERLY IDENTIFIED AND GUMPER STAKE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- 6) THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- 7) THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT. SURVIVAL OR WARRANTY UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- 8) THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- 9) THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- 10) EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRP LINE FROM ALL CONSTRUCTION TRAFFIC. STORAGE OF MATERIALS ETC WITH 4" HI. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS @ 6" C. MAXIMUM SPACING.
- 11) LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON SITE WILL NOT BE ALLOWED.
- 12) CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

LEGEND



Planting Requirements

- Sect. 11-9.A.2.
The developer shall plant One (1), 2.0 in. cal. (or greater) tree within the front yard the each front lot.
- Sect. 11-9.A.3.
The developer shall buffer with plantings, berming, and or fencing all required buffer yards.
- Sect. 9-5.A.
The developer shall be required to replace each significant tree removed with two (2) replacement trees.

Planting Proposal

- Sect. 11-9.A.2.
It is proposed that one Deciduous tree from the approved list of trees be planted in the front yard, 6-8 feet away from driveways, sidewalks, utilities.
- Sect. 11-9.A.3.
It is proposed that a mix of deciduous overstory trees, coniferous trees, and deciduous shrubs creating a buffer that provides 80% opacity cover required
- Sect. 9-5.A.
Per the Tree Preservation Plan, five (5) qualifying trees are to be removed. It is proposed that the ten (10) trees required for replacement (5x2), be planted as part of the buffer yard deciduous overstory and coniferous trees.

* see civil grading plans for groundcover specifications

Lot Plant Schedule				
OVERSTORY TREES		Cont.	Qty.	Code
American Elm	Ulmus americana	2.5' BB	13	AE
American Linden	Tilia americana	2.5' BB	11	AL
Burr Oak	Quercus macrocarpa	2.5' BB	7	BO
Common Hackberry	Celtis occidentalis	2.5' BB	10	HB
Honey Locust	Gleditsia trancanthos var. inermis	2.5' BB	12	HL
Red Maple	Acer rubrum	2.5' BB	21	RM
Sugar Maple	Acer saccharum	2.5' BB	11	SM
Buffer Plant Schedule				
OVERSTORY TREES		Cont.	Qty.	Code
American Elm	Ulmus americana	2.5' BB	6	AE
American Linden	Tilia americana	2.5' BB	6	AL
Honey Locust	Gleditsia trancanthos var. inermis	2.5' BB	5	HL
Kentucky Coffee Tree	Gymnocladus dioica	2.5' BB	6	KC
River Birch	Betula nigra	2.5' BB	6	RB
Red Maple	Acer rubrum	2.5' BB	3	RM
Sugar Maple	Acer saccharum	2.5' BB	7	SM
Swamp White Oak	Quercus bicolor	2.5' BB	4	SO
EVERGREEN TREES				
		Cont.	Qty.	Code
Black Hills Spruce	Picea glauca densata	6' BB	23	BH
Balsam Fir	Abies balsamea	6' BB	14	FR
Norway Spruce	Picea abies	6' BB	22	NS
Norway Pine	Pinus resinosa	6' BB	26	RP
White Pine	Pinus strobus	6' BB	14	WP
SHRUBS				
		Cont.	Qty.	Code
Dorcadoid	Cornus amomica Bailey	3-4'	40	DW
Hydrangea	Hydrangea paniculata 'Reisel'	3-4'	17	HD
Yucca	Yucca wickstrae	3-4'	47	YL
Norfolk Island	Photocarpus opulifolius 'Morio'	3-4'	28	NI
Burns	Pinus strobus	3-4'	39	SC

Landscape Architect:



Client:



Project Location:



Certification:

I hereby certify that this plan, plan set, specification or report was prepared by me or under my direct supervision and that I am duly registered Landscape Architect under the laws of the State of Minnesota.

Kevin Norby Registration #: 20144
Date: 12.17.2021

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PRAIRIE RIDGE PRELIMINARY LANDSCAPE PLAN

Drawn By: Matt Klein
Checked By: Kevin Norby
Original Issue Date: 11.09.2021
Reissue Date: 12.17.2021

Revisions:
By Date Remarks
01 MK 211110 Revise per client
02 MK 211217 Revise per city

Project Number: City Number:

JP Brooks
BUILDERS



Delano
The Spirit of Community


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PRAIRIE RIDGE
PRELIMINARY LANDSCAPE PLAN

Revisions:			
#	By	Date	Remarks
01	MK	211110	Revise per client
02	MK	211217	Revise per city

12 / 3




 L2 SITE PLANTINGS
 SCALE: 1"=50'




JP Brooks
BUILDERS



Delano
The Spirit of Community

I hereby certify that this plan, plan set, specification or report was prepared by me or under my direct supervision and that I am duly registered Landscape Architect under the laws of the State of Minnesota:

Copyright:

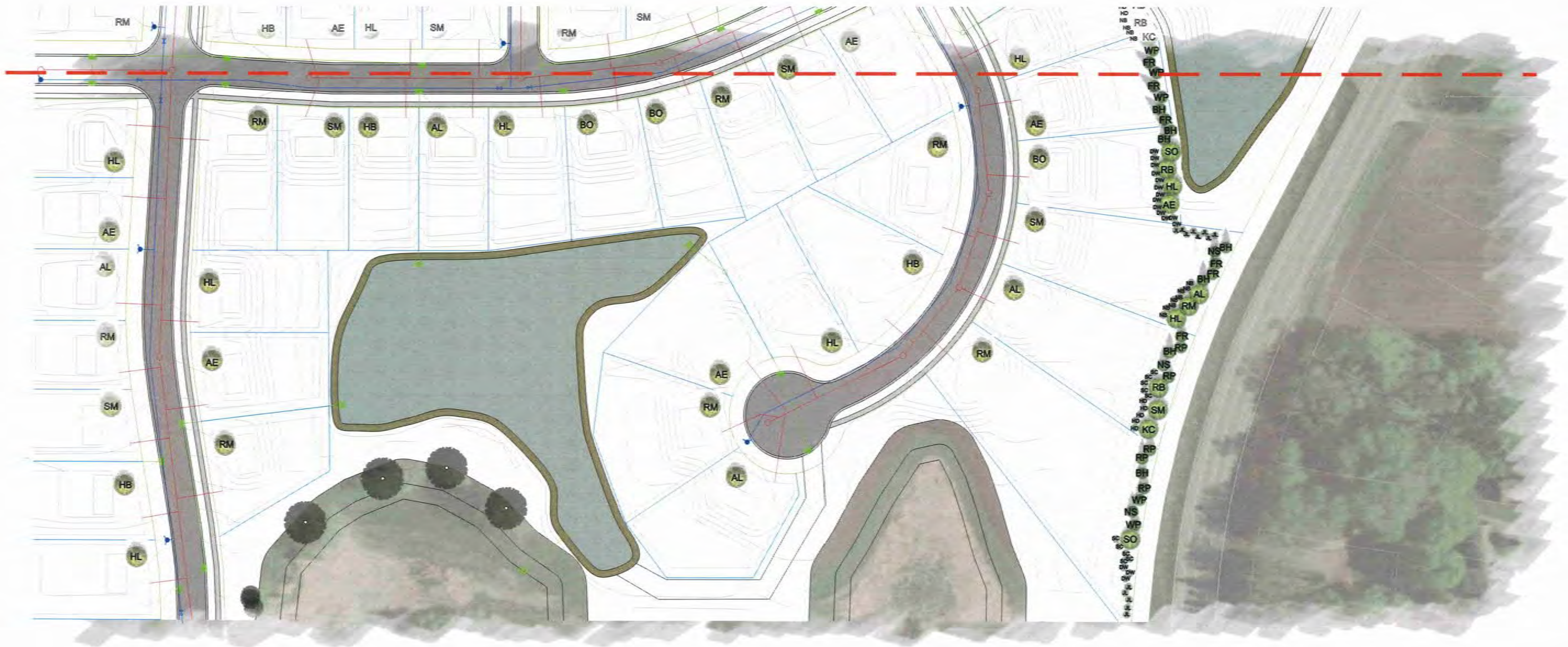
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PRAIRIE RIDGE

PRELIMINARY LANDSCAPE PLAN

Revisions:			
#	By	Date	Remarks
01	MK	211110	Revise per client
02	MK	211217	Revise per city

L3 / 3




 L3 SITE PLANTINGS
 I SCALE: 1"=50'

PLANNING REPORT

TO: Phil Kern

FROM: Alan Brixius

DATE: November 7, 2024

RE: Prairie Ridge – Townhome Sketch Plan

FILE NO: 432.07 24.10

BACKGROUND

In January 2022, the City approved a conditional use permit / planned unit development and an 86 single family lot preliminary plat for the Prairie Ridge subdivision. The City approval of the preliminary plat expires at the end of 2024, requiring the developer to proceed to final plat and development or have the plat approval expire.

JP Brooks is not prepared to proceed with the development of the original approved preliminary plat. They have now submitted a sketch plan for a revised CUP/PUD and preliminary plat that includes 61 single family lot and 67 townhomes lots to respond to the City's recent PUD code amendment requiring the provision on some inclusionary housing within all new residential PUD developments.

The concept plan is being presented to the Planning Commission and City Council for review and comment on the acceptability of the proposed project. The intent is to provide directions to the applicant as to whether they should proceed to a formal subdivision and zoning development applications. A sketch plan review does not convey any legal development rights to the applicants.

EXHIBITS

Exhibit A 2021 Preliminary Plat

Exhibit B 2024 Prairie Ridge Sketch Plan

Exhibit C 2024 Prairie Ridge Townhome Sketch Plan

Exhibit D Grandview Floor Plan

Exhibit E Westview Floor Plan

Exhibit F Birchwood Floor Plan

Exhibit G Hazelwood Floor Plan

ANALYSIS

In August of 2024, the City adopted a zoning code amendment that requires:

Owner-occupied housing. Residential planned unit development projects intended for sale and owner occupancy shall provide fifteen (15) percent of the total dwelling units as inclusionary housing at a price affordable to households having a household income not exceeding one hundred (100) percent of Area Median Income (AMI) at time of initial sale of the dwelling unit.

To meet this requirement, the revised sketch plan proposes a combination of single family home and townhome within a revised Prairie Ridge subdivision. In review of the sketch plan Staff offers the following review comments.

Zoning: In 2022, the site was zoned R-3 Single family zoning in response to the original Prairie Ridge Subdivision application. The city approved the plat with the condition that all the lots meet the R-3 minimum lot area and width requirements, with the lots abutting the Fox Meadows plat to the south meeting the R-2 lot area and width standards. The introduction of the townhomes will require that a portion of the subdivision be zoned R-7 Medium and High-Density District

Single Family Lot Size.

The approved preliminary plat required the following conditions.

1. All the interior lots meet or exceed the R-3 district minimum lot area and width standards. R-3 district requires a lot area of 10,500 sq. ft. and lot width of 70 feet.
2. Corner lots 9, 10, 29, 76, 79 fall below the R-3 corner lot requirements of 12,000 sq. ft. of lot area and 90 feet of lot width. Corner lots 20, 47, 60, 62 fall below the R-3 corner lot width requirement of 90 feet. The city approved PUD lot width flexibility to allow for a narrower corner lot width of 80 feet and reduced street side setback for these lots.
3. Lots along the periphery of the site, which border Fox Meadow to south must be designed to meet the minimum R-2 District lot requirements. R-2 district requires a minimum lot area of 12,500 sq. ft. and lot width of 80 feet.
4. Lots must meet the district lot area standards with buildable land exclusive of wetlands and wetland buffers. Lot 2, 19, 34, 49, 50, 59, 60, 62, 69 and 70 all contain wetlands. These lots cannot be approved without a TEP approval of a wetland mitigation plan allowing these wetlands to be filled and mitigated to allow for the creation of the lots.

The sketch plan now proposes single family lots having lot areas of 9,000 sq. ft. and lot widths ranging from 65 to 75 feet. This is a significant change from the previously approved preliminary plat. The reduced lot sizes would require flexibility through a conditional use permit /Planned Unit Development.

Single Family Lot Setbacks. The following table compares the required setbacks from the original Prairie Ridge preliminary plat / PUD and the current sketch plan

Setback	R-3 Lots		R-2 Lots		Sketch Plan requested setbacks
	Required	Approved	Required	Approved	
Front	30 feet	30 feet	30 feet	30 feet	30 feet
Side Interior	10 feet	8 feet*	10 feet	10 feet	7.5 feet
Side Corner	20 feet	20 feet	30 feet	30 feet	20 feet
Rear	30 feet	30 feet	30 feet	30 feet	30 feet

*The City approved a reduced side setback for the R-3 single family lot at the request of JP Brooks to accommodate their house models on the 70 foot wide lots.

The Planning Commission and the City Council are requested to comment on the acceptability of the reduced single-family lots; area, lot widths and setbacks being requested with the new sketch plan. The Planning Commission and City Council may consider the following options.

1. Hold to the original Prairie Ridge Preliminary plat single family lot sizes and setbacks.
2. Direct the Developer to proceed with a new Conditional Use Permit / Planned Unit Development to allow for the lot sizes and setbacks as presented in the sketch plan.

Townhomes

In response to the inclusionary housing requirements for residential planned unit developments the sketch plan proposes 67 townhome units in the northeast corner of the plat. The 67 townhomes are 51% of the housing units within the plat. The applicant has provided plan sets for the townhome units.

Zoning: To accommodate the townhomes a portion of the Prairie Ridge subdivision must be zoned R-7 Medium to High Density Residential District. The R-7 district allows townhome development by conditional use permit / planned unit development.

Townhomes in this district requires 5000 sq. ft. of lot area per unit. The sketch plan has 359,000 sq. ft. in the townhome area, which is 5,358 sq. ft. per unit, meeting the City requirements.

Setbacks. The following table compares the R-7 district setbacks with the setbacks proposed in the Sketch plan.

Setbacks	R-7 District	Proposed
Front	25 feet / 30 feet*	25 feet / 30 feet
Side interior	15 feet	15 feet
Side corner	30 feet	30 feet
Rear	25 feet	15 feet**

*The front setback is 25 feet from a private street and 30 feet from a public street right-of-way.

**The applicant will pursue a reduced rear yard setback through the PUD.

Side yard setback requirements shall not be applied to common walls of two family, townhome, quadrominium, or multiple family dwelling

Two Family and Townhome Design and Construction Standards. The Delano zoning ordinance establishes the following performance standards for townhomes.

Unit Width. The minimum width of a two family or townhome dwelling unit shall be twenty-four (24) feet. Minimum floor area per unit shall be established within the zoning district.

Comment: The units meet this requirement.

Unit Size. Two family and townhome dwelling units shall have a minimum finished habitable floor area of one thousand (1,000) square feet.

Comment: The Grandview and the Westview floor plans show each unit offers 2072 sq. ft. of finished floor area. The back-to-back unit models Birchwood and Hazelwood offer 1709 sq. ft. of finished floor area. All the townhome units exceed the livable floor area requirements.

Unit Construction.

- a) Building elevations and floor plans shall be furnished illustrating exterior building materials and colors to demonstrate compliance with Section 51.03, Subd. C.3.b.3).d)) of this Ordinance. Building floor plans shall identify the interior storage space within each unit.
- b) Decks or Porches. Provision shall be made for possible decks, porches, or additions as part of the initial dwelling unit building plans.
- c) Minimum Overhang: In case of gable roof, a minimum eighteen (18) inch roof overhang, soffit shall be required for all dwelling unit building plans.
- d) Exterior Building Finish: The exterior of townhome dwelling units shall include a variation in building materials which are to be distributed throughout the building

facades and coordinated into the architectural design of the structure to create an architecturally balanced appearance. In addition, townhome dwelling structures shall comply with the following requirements:

- (1) A minimum of twenty-five (25) percent of the combined area of all building facades of a structure shall have an exterior finish of brick, stucco and/or natural or artificial stone.
- (2) Except for brick and/or natural or artificial stone, no single building facade shall have more than seventy-five (75) percent of one type of exterior finish.
- (3) For the purpose of this section, the area of the building facade shall not include area devoted windows, entrance doors, garage doors, or roof areas.

Comment: The building elevations show the exterior images of the townhomes. In review of the building details we offer the following comments.

1. The site plans do not show patios or decks associated with the townhomes. Details on outdoor space will need to be provided if the project progresses.
2. The building elevations show the minimum roof overhangs.
3. The building elevations for the Grandview and Westview models show a exterior combination of materials on the front of the townhomes. The front elevation appears to meet the above exterior building finish requirements above. More detailed building elevations must be provided if this project proceeds. The Birchwood and Hazelwood models appear to have less variation in exterior materials.

Storm Shelter. In cases where dwelling units are constructed slab on-grade, provisions shall be made to provide for storm protection either internally to the unit or in a separate storm shelter structure. Compliance with this requirement shall be based upon Federal Emergency Management Agency (FEMA) guidelines and standards which are on file with the City Building Official.

Garages.

- a) Each dwelling unit shall include, at a minimum, a two-stall garage.
- b) Garages shall comply with the following minimum size standards: (ol style="list-style-type: none;">- (1) Dwellings With Basements. Four hundred forty (440) square feet (twenty (20) feet by twenty-two (22) feet).
- (2) Dwellings Without Basements. Five hundred (500) square feet (twenty (20) feet by twenty-five (25) feet).
- (3) Garages shall be a minimum of twenty (20) feet in width.

Comment: The townhomes will be slab on grade construction. By code dwellings without basements are required to provide a garage size of 500 sq. ft. to provide for household

storage needs. The Grandview and Westview models offer a garage size of 406 sq. ft. and the Birchwood and Hazelwood models offer a garage size of 385 sq. ft.

Applicants will be seeking PUD flexibility for garages smaller than the City standard. In pursuing this flexibility, the Applicant must demonstrate that the proposed garage size is sufficient to address need garage storage (two cars, bicycles, trash and recycling equipment and other ancillary household equipment). The applicant must provide a garage diagram showing the garage storage uses fitting into the proposed space. The floor plans must demonstrate interior storage areas to compensate for the reduced garage size.

Utilities.

- a) Public Utility Service. Separate public utility services shall be provided to each unit unless exempted by the City Engineer.
- b) Sewer Connection. Where more than one (1) unit is served by a sanitary sewer service, all maintenance and cleaning shall be the responsibility of the property owners' association or owners.

Comment: These details will be required if this project proceeds to preliminary plat.

Homeowners' Association. A homeowners' association shall be established for all townhome developments subject to review and approval of the City Attorney. The homeowners' association shall be responsible for all exterior building maintenance, approval of any exterior architectural modifications, landscaping, snow clearing and regular maintenance of private driveways and other areas owned in common when there is more than one (1) individual property owner having interest within the development.

Comment: The townhomes will be covered by a Homeowners' association. The HOA documents will be reviewed and approved by the City Attorney. The number of townhomes contributes to the financial viability of the HOA in addressing the long-term maintenance of the private street and common elements.

Streets. The plat shows a combination of public and private streets. The public street meets the city street standards. 5th Street SE is a minor collector street, having a 66 foot wide right-of-way and a 38 foot street surface. Other public streets will have a minimum of 60 foot right-of-way and 33 street width.

The Townhome development will be served by four private streets, having width ranging in width from 24 to 26 feet. These streets shall be posted no parking. These streets will be owned and maintained by the Townhome HOA. With the reduced street width, high number of driveways, and minimum boulevard, the Applicant has identified locations for snow storage.

Parking. The Zoning code requires 2.25 parking stalls per townhome unit. The site plan provides two parking stalls in the garage, two stalls in the driveway leading to the garage

and 20 additional guest parking stalls along private streets. The arrangement meets the required parking numbers.

The number and spacing of the townhome driveways on the private drives raises concern for site access, utility services, snow storage and landscaping. In this regard, the following standards will be considered if this project proceeds to preliminary plat.

1. PUD restriction on driveway widths for the townhome units.
2. Protection of the spaces between the townhome driveways.
3. Front yard landscaping.
4. Location and design of utility services to individual townhome units.

Housing Affordability. The applicant shall provide pricing information on anticipated housing products to demonstrate that a portion of the housing units meet the City's inclusionary housing goals.

CONCLUSION.

The Applicant is pursuing sketch plan review prior to investing in the plan sets for preliminary plat, conditional use permit / planned unit development, zoning map amendment.

The sketch plan addresses the City's effort to promote inclusionary, attainable housing options within the city. The integration of the townhomes at the periphery of the single family works well maintaining development quality through the entire subdivision.

The Planning Commission and Council are requested to review the sketch plan and provide comments on the acceptability of the proposed subdivision and land uses. The PUD section of the Delano zoning code allows the City to consider the project and grant zoning flexibility on some of the base zoning standards. The following issues require Planning Commission and Council attention.

1. Single family lot area, width, and setbacks.
2. Rezoning a portion of the subdivision R-7 to allow for the introduction of the townhomes to the plat.
3. Townhome setbacks
4. Flexibility from the Townhome design performance standard related to exterior finishes, storm shelters, garage size.
5. Establishing PUD performance standard for driveway design, width, spacing, landscaping, unit utility service lines, etc.
6. Demonstration of the housing unit pricing to meet the inclusionary housing goals.

7. HOA documents and finances that demonstrate the long-term management, maintenance and repair of the private streets, common elements, and building exteriors.

PLANNING COMMISSION COMMENTS:

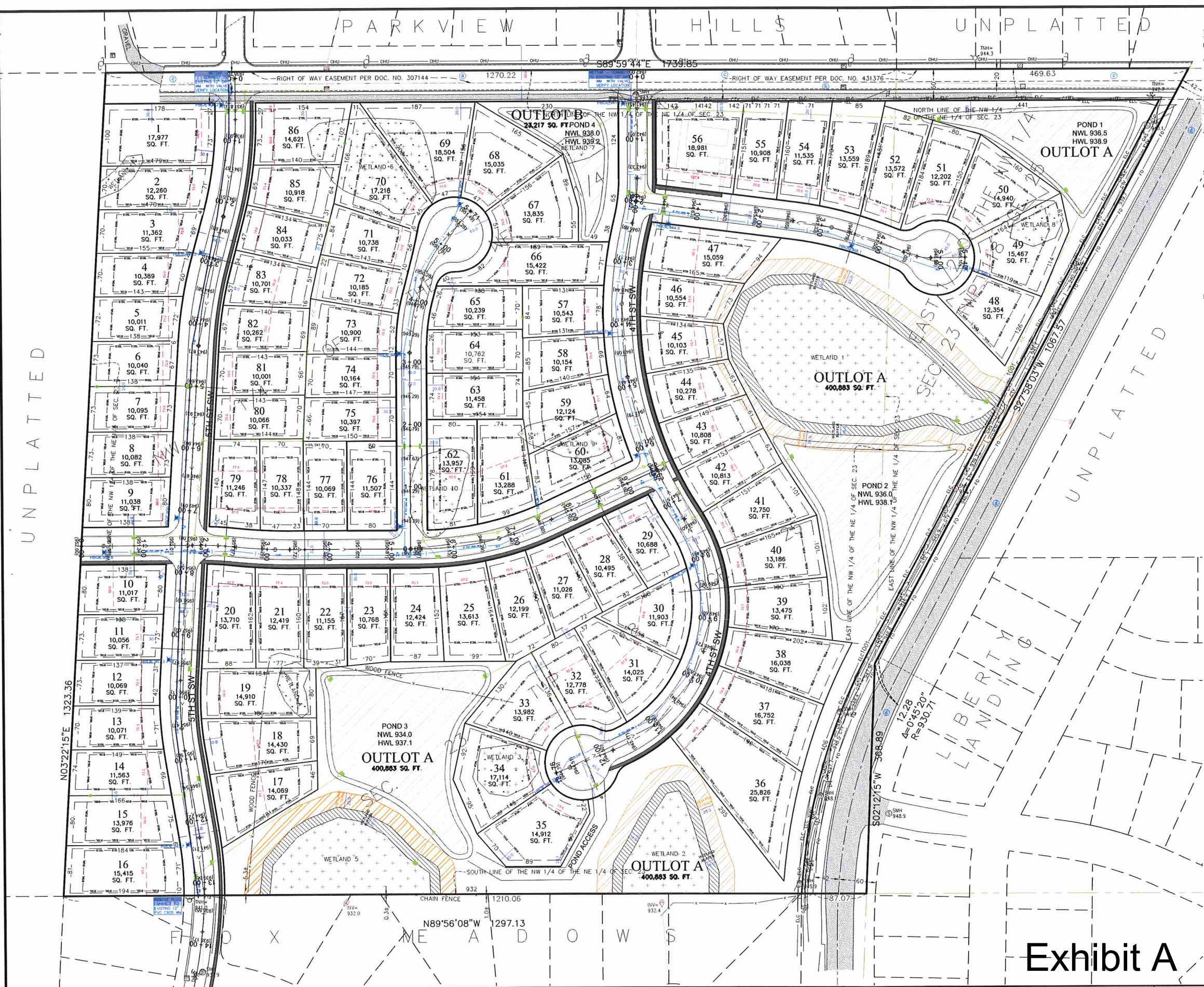
The Delano Planning Commission reviewed the concept plan and offered the following comment and recommendations.

1. The planning commission was comfortable with the introduction of townhomes into the subdivision to accomplish the inclusionary housing objectives of the City.
2. The location of the townhomes and the setback flexibility is seen as reasonable.
3. The reduced lot areas and lot widths for the single family lots should either be the same as the original preliminary plat or the developer demonstrate that proposed houses will be sized to be appropriate for the given lots. Avoid large homes that overwhelming small lots.
4. Concern was expressed over townhome garage sizes. The townhomes will be slab on grade construction. The townhomes will offer three and four bedroom options. Without basements, room for family storage is an expressed concern. The proposed two car garages sizes must accommodate two cars, and related family storage items. (garbage and recycling containers, bicycles, and other family items).
5. The Planning Commission is open to allowing some building design flexibility with the townhomes to achieve the inclusionary housing values.

The Planning Commission recommended that JP Brooks proceed to submit development applications for a zoning map amendment to allow townhomes, conditional use permit/ planned unit development, and new preliminary plat. The new submissions will be required to address the aforementioned Planning Commission concerns.

The Council is asked to provide comments as to the acceptability of the concept plan and provide directions to the applicant and City Staff as to how to proceed. If the project is to proceed with new application, City Staff recommend that the Council extend the approval of the existing Prairie Ridge preliminary plat until April 30, 2025, to allow the processing of the new development applications that will replace the current preliminary plat.

Cc. Shawn Louwagie Paula Bauman Bryce Borland Scott Dornfeld.
Art Plante Lucinda Spanier



DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

The Northwest Quarter of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, AND all that part of the East Half of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, lying west of the State Road running through said Quarter Section known as County State Aid Highway No. 16, formerly known as the Delano-Waterson Road, ALSO formerly known as the Waterson and Rockford Road.

Abstract Property.

ALTA/NSPS OPTIONAL TABLE A NOTES
(The following items reference Table A optional survey responsibilities and specifications)

Site Address: 9133 County Road No. 16, Delano, Minnesota 55328

3) **Flood Zone Information:** This property appears to lie in Zone X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 2705390001C, effective date of December 2nd, 1988.

4) **Parcel Area Information:** Gross Area: 1,920,672 s.f. ~ 44.093 acres
R/W Area: 107,514 s.f. ~ 2.468 acres
Net Area: 1,557,660 s.f. ~ 3.576 acres
Net Area: 1,657,398 s.f. ~ 38.049 acres
*We do not affirmatively insure the quantity of acreage set forth in the description

5) **Benchmark:** Elevations are based on MN/DOT Geodetic Station Name: STENNES which has an elevation of: 924.454 feet (NAVD88).

6) **Zoning Information:** The current Zoning for the subject property is R-2 (Single Family Residential) per the City of Delano's zoning map dated November 26, 2013. The setback, height, and floor space area restrictions for said zoning designation are as follows:

Principal Structure Setbacks - Street(s): 30 feet (C.S.A.H. No. 16)
Side: 10 feet, 30 feet from a street
Rear: 30 feet
Height: 35 feet

Please note that the zoning information shown herein may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process.

We have not received the current zoning classification and building setback requirements from the insurer.

11) **Utilities:** We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visually observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651-454-0002.

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PROPOSED DEVELOPMENT DATA

MINIMUM LOT DEPTH
135FT
MINIMUM LOT SIZE
10,000 SF

Street: 60' ROW - 32' B-B
CDS - 45' R

SETBACKS

Frontyard Setback: 30'
Corner Setback: 20'
Sideyard Setback: 8/8'
Rearyard Setback: 30'

CURRENT ZONING
R-2

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

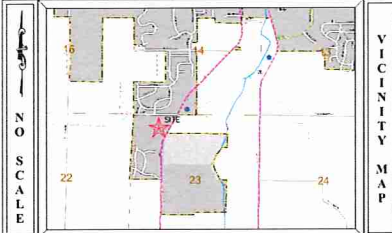
NOT TO SCALE

Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and being 10 feet in width and adjoining right of way lines, unless otherwise indicated on this plat.

Bearings are based on the Wright County Coordinate System (NAD 83 - 1986 adj.)

SCALE IN FEET

80 40 0 40 80 160



- SURVEY LEGEND**
- CAST IRON MONUMENT
 - IRON PIPE MONUMENT SET
 - IRON PIPE MONUMENT FOUND
 - DRILL HOLE FOUND
 - CHISELED "X" MONUMENT SET
 - CHISELED "X" MONUMENT FOUND
 - REBAR MONUMENT FOUND
 - PK NAIL MONUMENT SET
 - PK NAIL MONUMENT FOUND
 - PK NAIL W/ ALUMINUM DISC
 - SURVEY CONTROL POINT
 - A/C UNIT
 - CABLE TV PEDESTAL
 - ELECTRIC TRANSFORMER
 - ELECTRIC MANHOLE
 - ELECTRIC METER
 - ELECTRIC OUTLET
 - YARD LIGHT
 - LIGHT POLE
 - FIBER OPTIC MANHOLE
 - FIRE DEPT. HOOK UP
 - FLAG POLE
 - FUEL PUMP
 - FUEL TANK
 - PROPANE TANK
 - GAS METER
 - GAS VALVE
 - GAS MANHOLE
 - GENERATOR
 - GUARD POST
 - HAND HOLE
 - MAIL BOX
 - PIEZOMETER
 - POWER POLE
 - GUY WIRE
 - ROOF DRAIN
 - LIFT STATION
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - STORM MANHOLE
 - STORM DRAIN
 - CATCH BASIN
 - FLARED END SECTION
 - TREE CONIFEROUS
 - TREE DECIDUOUS
 - TREE CONIFEROUS REMOVED
 - TREE DECIDUOUS REMOVED
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - UTILITY MANHOLE
 - UTILITY PEDESTAL
 - UTILITY VAULT
 - WATERMAIN MANHOLE
 - WATER METER
 - WATER SPIGOT
 - WELL
 - MONITORING WELL
 - CURB STOP
 - GATE VALVE
 - HYDRANT
 - IRRIGATION VALVE
 - POST INDICATOR VALVE
 - SIGN
 - SOIL BORING
 - WOE WALKOUT ELEVATION
 - FFE FIRST FLOOR ELEVATION
 - GFE GARAGE FLOOR ELEVATION
 - TOF TOP OF FOUNDATION ELEV.
 - LOE LOWEST OPENING ELEV.
 - CONCRETE
 - BITUMINOUS
 - BUILDING SETBACK LINE
 - CABLE TV
 - CONCRETE CURB
 - CONTOUR EXISTING
 - CONTOUR PROPOSED
 - GUARD RAIL
 - DRAIN TILE
 - ELC ELECTRIC UNDERGROUND
 - FENCE
 - FO FIBER OPTIC UNDERGROUND
 - GAS GAS UNDERGROUND
 - OVERHEAD UTILITY
 - TREE LINE
 - SANITARY SEWER
 - STORM SEWER
 - TELEPHONE UNDERGROUND
 - RETAINING WALL
 - UTILITY UNDERGROUND
 - WATERMAIN
 - RAILROAD TRACKS
 - RAILROAD SIGNAL
 - RAILROAD SWITCH
 - SATELLITE DISH
 - WETLAND BUFFER SIGN

DESCRIPTION OF PROPERTY SURVEYED

The Northwest Quarter of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, AND all that part of the East Half of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, lying west of the State Road running through said Quarter Section known as County State Aid Highway No. 16, formerly known as the Delano-Watertown Road, ALSO formerly known as the Watertown and Rockford Road.

Abstract Property.

Site Address: 9133 County Road No. 16, Delano, Minnesota 55328

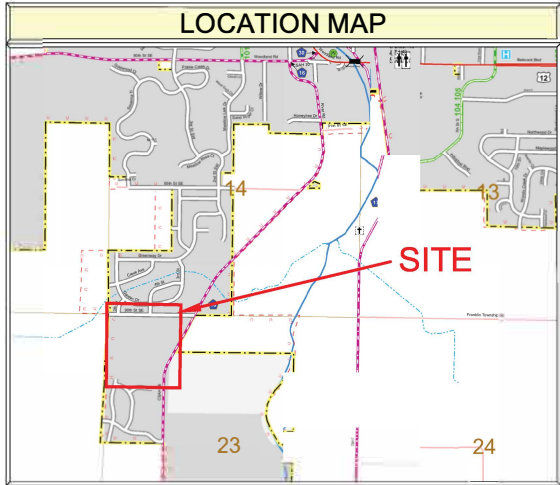
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Parcel Area Information:

Gross Area: 1,920,672 s.f. ~ 44.093 acres
R/W Area: 21,111 s.f. ~ 0.485 acres
Wet Area: 155,760 s.f. ~ 3.576 acres
Net Area: 1,743,801 s.f. ~ 40.032 acres

*We do not affirmatively insure the quantity of acreage set forth in the description

LOCATION MAP



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JOSH POMERLEAU
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EMAIL: JP@JPBROOKS.COM

PROPOSED DEVELOPMENT DATA

44.09 AC GROSS SITE
130 UNITS
5.71 AC - INTERNAL RIGHT-OF-WAY PUBLIC STREETS
0.485 AC - EXTERNAL ROW
11.82 AC - OPEN SPACE
26.07 AC - RESIDENTIAL - NET AREA
130 / 26.07 = 4.98 Units / AC

PROPOSED DEVELOPMENT DATA

130 lots
67 Multi-Family Units
32 - 65' Lots
31 - 75' Lots

60' Deep Pads
MINIMUM LOT DEPTH
135 FT
MINIMUM LOT SIZE
9,000 SF

Street - Public: 50' ROW - 33' B-B
CDS - 46.5' R
Street - Private: 24' B-B
CDS - 46.5' R

SETBACKS
Single Family
Frontyard Setback: 30'
Corner Setback: 20'
Sideyard Setback: 7.5'
Rearyard Setback: 30'

Multi-Family
Frontyard Setback: 30' Public
25' Private
Corner Setback: 30'
Sideyard Setback: 15'
Rearyard Setback: 15'

CURRENT ZONING

R-2

WETLANDS

Manage 1
Buffer Width 40'
Min buffer Width 25'
Setback Width 25'

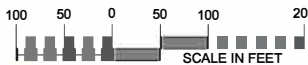
Manage 2
Buffer Width 25'
Min buffer Width 16'
Setback Width 25'

Manage 3
Buffer Width 16'
Min buffer Width 16'
Setback Width 25'

** ALL WETLAND SHOWN AS MANAGE 1 TO SHOW WORST CASE SCENARIO

Wetland Buffer
Wetland Setback
Minimum Wetland Setback
With Buffer Averaging

Exhibit B



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
XXX				
DRAWN BY				
XXX				
CHECKED BY				
XXX				
DATE				
XXX/XXX/XX				

USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Name, P.E. _____
Date: _____ Lic. No. _____



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

DELANO,
MINNESOTA

CONCEPT PLAN 10-22-2024

PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.

43688-406

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