



Engineering Review Memorandum

To: JPB Land, LLC
From: Shawn Louwagie, Delano City Engineer
Date: March 4th, 2025

Reference: Prairie Ridge: Preliminary Plat Review Comments

Revised Preliminary Plat documents have been received for the proposed Prairie Ridge development. The following comments are generated from the review of the submitted plans.

Exhibits: Site Plans, ALTA Survey, Preliminary Plat, Preliminary Street Plans, Preliminary Utility Plans, Preliminary Grading Plans, Preliminary Erosion Control Plans, Preliminary Tree Plans, Preliminary Landscaping Plans, Stormwater Management Plan, Storm Sewer Calculations

General

1. Provide a comment response memo which addresses the comments outlined below.
2. Development directly abuts the Wright County ROW. Applicant shall submit preliminary and final plat documents to Wright County for their review and comments.
3. Applicant shall utilize current Standard Detail Plates. Current detail plates will be sent separately from this report.
4. Applicant shall submit proposed street names for the private streets for City review and comment.
5. Applicant shall provide a proposed phasing plan with future plat submittals.
6. Applicant shall provide signage on both ends of the proposed mowed trail from 4th St SW to 5th St SW.
7. Landscaping along 90th Street shall be placed within the 20' wide landscape buffer area. Avoid placing landscaping within 10' of a storm sewer line to protect maintenance access.

Plat

8. Outlots A, B, and C shall be transferred to the City.

9. Applicant shall grant a Drainage and Utility easement over the entirety of Outlots D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, and T. Outlots are to be retained by the development HOA.
10. Applicant shall review the wetland/wetland buffer boundary line. The entirety of the wetland and buffer edge must lie outside of the individual townhome lots. Applicant may use buffer width averaging to accommodate widths as necessary per Delano Subdivision Code Section 10.
11. The D&U easement along the rear of Lots 5, 6, and 7 shall be increased to cover the existing utilities placed along CSAH 16, consistent with the proposed D&U easements shown on the prior plat application.
12. Widen D&U easement between Lots 10 and 11 to 20' accommodate proposed storm sewer line.
13. Widen D&U easement between Lots 25 and 26 to 20' accommodate proposed storm sewer line.
14. Widen D&U easement between Lots 28 and 29 to 20' accommodate proposed storm sewer line.
15. Adjust D&U easement on Lot 43 to accommodate storm sewer line from G14 to G13.
16. Adjust D&U easement on TH Lot 43 and Lot 1, or storm sewer line A3 to A2, to maintain a 20' easement width over the storm sewer line.
17. Adjust D&U easement width on Lot 58 to accommodate storm sewer line.

Streets

18. Applicant shall submit detail on driveway configurations between townhome units. Will the pavement area be shared amongst the adjacent units?
19. No parking will be allowed on 4th Street SW from 90th Street to the first private road intersection.
20. The following comments are regarding the Street Notes on Sheet ST1, revise on future plat application documents.
 - a. Standard local street width is 32' face to face of curb.
 - b. Aggregate base material shall be 100% crushed or recycled aggregate.
 - c. Geotextile fabric is required under the entirety of the street.
 - d. Street draintile is required along the entirety of the street length.

21. Applicant shall include the rehabilitation of the existing trail along the south side of 90th Street per the prior plat documents.
22. Provide Type III barricade and “Future Through Street” sign at the western end of the Prairie Ridge Drive.
23. 5th Street SW shall be designed as a 36' wide face to face minor collector street.
24. Proposed pedestrian crossings on 90th Street shall include RRFB installations along with the concrete bumpouts.
25. Street lighting locations shall be coordinated with Delano Municipal Utilities.

Site Grading

26. Applicant shall review the possibility of a temporary grading easement with the property owner to the west to allow a graded transition between proposed lots 28 through 33 and avoid a tiered retaining wall.
27. Revise grading plan to ensure contour continuity, spot elevations between lots for high points and drainage to low points.
28. Show EOF elevations and direction on grading plans.
29. All grading shall be a max 3:1 in non-managed areas such as wetland buffers and 4:1 in maintained areas such as yards.
30. Revise lot 8 to meet 2' of freeboard between the HWL of Pond 3 and the BF elevation.
31. Lots 27-31 do not appear to be draining into their drainage and utility easements. The Grading Plan appears to show drainage going into downstream lots. Adjust lot gradings to ensure drainage is kept in the drainage and utility easement.
32. Revise the proposed grading along the southern edge of the plat (between wetlands 2 and 5) to convey stormwater along the plat boundary and prevent additional runoff from entering the Fox Meadows development to the south.

Sanitary Sewer

33. Review the existing sanitary sewer stub information from 90th Street. Record Plans identify 65' of 12" PVC SDR 26 extended to the south of the junction structure in 90th St, with an end of stub invert elevation of 916.76. Future plat applications shall carry pipe slope from 90th Street or incorporate a junction structure to change the proposed slope.

34. Sanitary sewer main material shall follow the following standard: SDR 35 depths less than 16ft, SDR 26 depths between 16ft and 25ft, and C-900 for depths greater than 25ft.
35. Detailed review of the sanitary system components shall be conducted on the future plat submittals.

Watermain

36. The development shall extend the 12" watermain to the western edge of the plat in Prairie Ridge Drive.
37. The watermain shall be looped at the following locations:
 - a. Prairie Ridge Ct to Pvt Rd 2.
 - b. Pvt Rd 3 to Pvt Rd 4.
 - c. Pvt Rd 1 to the watermain along the west side of CSAH 16.
38. Applicant shall revise proposed hydrant locations following the watermain looping revisions noted above.
39. Review the location of the existing watermain stub at 90th St/5th Street. Record plans show the watermain stub on the east side of the sanitary.
40. Review the location of the existing watermain stub at 90th St/4th Street. Record plans show the watermain stub on the east side of the sanitary, and is a 12" DIP pipe.
41. Review hydrant locations on the private streets to ensure they do not conflict with snow storage access.
42. The proposed hydrant locations shall consider existing hydrants at the perimeter of the plat (north and south ends of 5th Street). Review the existing hydrant locations and adjust the proposed hydrant layout accordingly.
43. Detailed review of the watermain system components shall be conducted on the future plat submittals

Storm Sewer

44. Shift storm sewer line H4 to H3 to be placed on the property.
45. Ensure there is a minimum of 2.5 feet of cover on all storm sewer in the roadway and a minimum of 2 feet of cover in green space areas.
46. Provide inlet drainage map used for Hydraflow calculations area.

47. Confirm pipe size for run from B4 to B6, size in planset table does not match rational calculation table.
48. Confirm pipe length for run from A5 to A6, size in planset table does not match rational calculation table.
49. All storm sewer in backyards and along lot lines is to have a 20 ft wide easement over top of pipe per, review and adjust easement widths as needed.
50. Ensure the entirety of Dry Basin 5 is within the drainage and utility easement.
51. Provide rational method calculations for pipe networks D and E.
52. Show pipe run L1-A2 in the calculations.
53. Provide catch basins in the green space at the ends of Private Roads 2 and 3 to collect snow melt.

Stormwater Management

54. Applicant shall provide method to protect Dry Basin 5 from resident/public alteration through the use of signage or alternative method on future applications.
55. Rate control shall be met at point discharge locations. North flows show increase to existing stormwater system to the north. The maximum allowable discharge from pond 4 is 2 cubic feet per sec in the 10-year event based off of capacity of existing stormwater system based on Hydroflow calculations. See potential options below:
 - a. Install a low flow at normal water level in internal weir wall in OCS of pond 4.
 - b. Raise internal weir wall height to prevent flow from discharging during the 10-year event.
 - c. Adjust low floor or house elevations to meet freeboard requirements around pond 4.
56. Show existing conditions wetland 6 overtop location, elevation, and downstream flow path (arrows).
57. Provide a minimum of 1' between the HWL and the EOF.
58. Time of concentration sheet flow maximum length shall be 100'.
59. A minimum of velocity of 3 ft/sec will be required for all storm sewer to ensure self-cleaning.
60. Submit electronic HydroCAD model files.

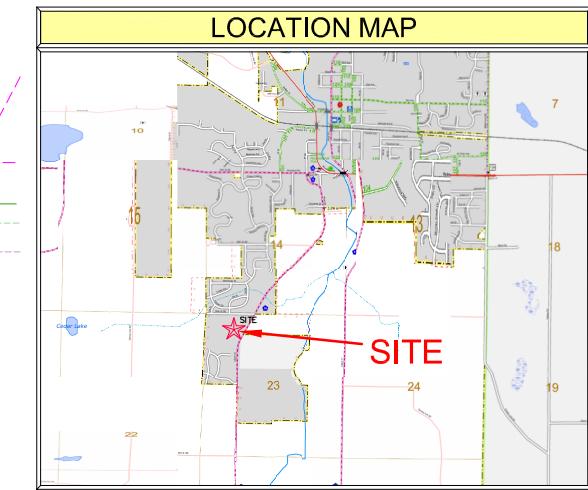
61. Provide calculations on water quality discharge rates. This should include the instantaneous WQV elevation, and the provided discharge rate shown in HydroCAD at the elevation.
62. Structures C3, A10, A15, G11, shows a spread greater than 11 feet. State-Aid guidelines recommend a maximum spread of 11 feet for roadways of this width. Revise storm sewer to meet this criterion.
63. Pipe runs A6-A15, A17-A18, B4-B6, G9-G10, and J1-J2 appear to be at capacity, it is suggested that applicant reviews calculations to maintain sufficient hydraulics.
64. The maximum allowable flow into a catch basin is 2.5 cubic feet per second. Structures A10, F2, and F5 appear to be exceeding this. Additional catch basins may be required to meet this requirement.
65. Review total flow rate number for G2-G3.
66. Review and update total area calculations for A16-A17, A17-A22, G3-G4.
67. Update Hydraflow figure for Pond 2, currently shows a green line with no number.
68. Sumps shall be placed in upstream manholes in the roadway prior to discharging to BMP.

End of Comments

Shawn Louwagie, P.E.
Delano City Engineer
Phone: 763-972-0586
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Attachment:

- c. Phil Kern, Delano City Administrator
- Paula Bauman, Administrative Services Director
- Scott Dornfeld, Delano Building Official
- Paul Twite, DMU General Manager
- Dan Hanson, DMU Foreman



SHEET INDEX TABLE

SHEET	Description
SP	Site Plan
ALTA	ALTA Survey
PP	Preliminary Plat
ST	Preliminary Street Plan
UP	Preliminary Utility Plan
GP	Preliminary Grading Plan
EC	Preliminary Erosion Control Plan
TS	Preliminary Tree Plan
L	Preliminary Landscape Plan

PREPARED BY

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PROPOSED DEVELOPMENT DATA

44.09 AC GROSS SITE
133 UNITS
5.67 AC - INTERNAL RIGHT-OF-WAY PUBLIC STREETS
0.78 AC - EXTERNAL ROW
2.22 AC - WETLAND
35.42 AC - RESIDENTIAL - NET AREA
133 / 35.42 = 3.75 Units / AC

PROPOSED DEVELOPMENT DATA

133 lots
63 Single-Family Units
70 Townhome Units
60' Deep Pads
MINIMUM LOT DEPTH 135FT
MINIMUM LOT SIZE 9,000 SF
Street - Public: 50' ROW - 33' B-B
CDS - 46.5' R
Street - Private: 24' B-B
CDS - 46.5' R

SETBACKS

Single Family
Frontyard Setback: 30'
Corner Setback: 20'
Sideyard Setback: 7.5'/7.5'
Rearyard Setback: 30'

Multi-Family
Frontyard Setback: 30' Public
25' Private
Corner Setback: 30'
Sideyard Setback: 15'
Rearyard Setback: 15'

CURRENT ZONING
R-2

WETLANDS

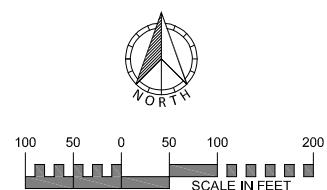
Manage 1
Buffer Width 40'
Min buffer Width 25'
Setback Width 25'

Manage 2
Buffer Width 25'
Min buffer Width 16'
Setback Width 25'

Manage 3
Buffer Width 16'
Min buffer Width 16'
Setback Width 25'

** ALL WETLAND SHOWN AS MANAGE 1 TO SHOW WORST CASE SCENARIO

Wetland Buffer
Wetland Setback

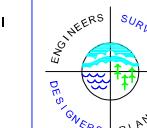


DRAWING NAME	NO.	BY	DATE	REVISIONS
XXX	-	-	-	-
DRAWN BY				
CAC				
CHECKED BY				
DLS				
DATE				
02-11-25				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 07/11/25
Lic. No. 49180



SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
DELANO,
MINNESOTA

PRELIMINARY SITE PLAN
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
SP
SP

The Northwest Quarter of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, AND all that part of the East Half of the Northwest Quarter, Section 23, Township 118, Range 25, Wright County, Minnesota, lying west of the State Road running through said Quarter Section known as County State Aid Highway No. 16, formerly known as the Delano-Watertown Road, ALSO formerly known as the Watertown and Rockford Road.

Abstract Property:

ALTA/NSPS OPTIONAL TABLE A NOTES

(The following items reference Table A optional survey responsibilities and specifications)

Site Address: 9133 County Road No. 16, Delano, Minnesota 55328

Flood Zone Information: This property appears to lie in Zone X (area determined to be outside of the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 2075390001C, effective date of December 2nd, 1988.

Parcel Area Information: Gross Area: 1,920,672 s.f. ~ 44.993 acres
R.W. Area: 107,514 s.f. ~ 2.468 acres
Wet Area: 155,760 s.f. ~ 3.576 acres
Net Area: 1,657,398 s.f. ~ 38.049 acres
*We do not affirmatively insure the quantity of acreage set forth in the description

Benchmark: Elevations are based on MN/DOT Geodetic Station Name: STENNES which has an elevation of 924.454 feet (NAVD88).

Zoning Information: The current Zoning for the subject property is R-2 (Single Family Residential) per the City of Delano's zoning map dated November 26, 2013. The setback, height, and floor space area restrictions for said zoning designation are as follows:

Principal Structure Setbacks - Street(s): 30 feet (C.S.A.H. No. 16)
Side: 10 feet; 30 feet from a street
Rear: 30 feet
Height: 35 feet

Please note that the zoning information shown hereon may have been amended through a city process. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site. All setback information and hardcover data for planning and design must be verified by all parties involved in the design and planning process.

We have not received the current zoning classification and building setback requirements from the insurer.

11) Utilities: We have shown the location of utilities on the surveyed property by observed evidence only. There may be underground utilities encumbering the subject property we are unaware. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002.

SURVEY REPORT

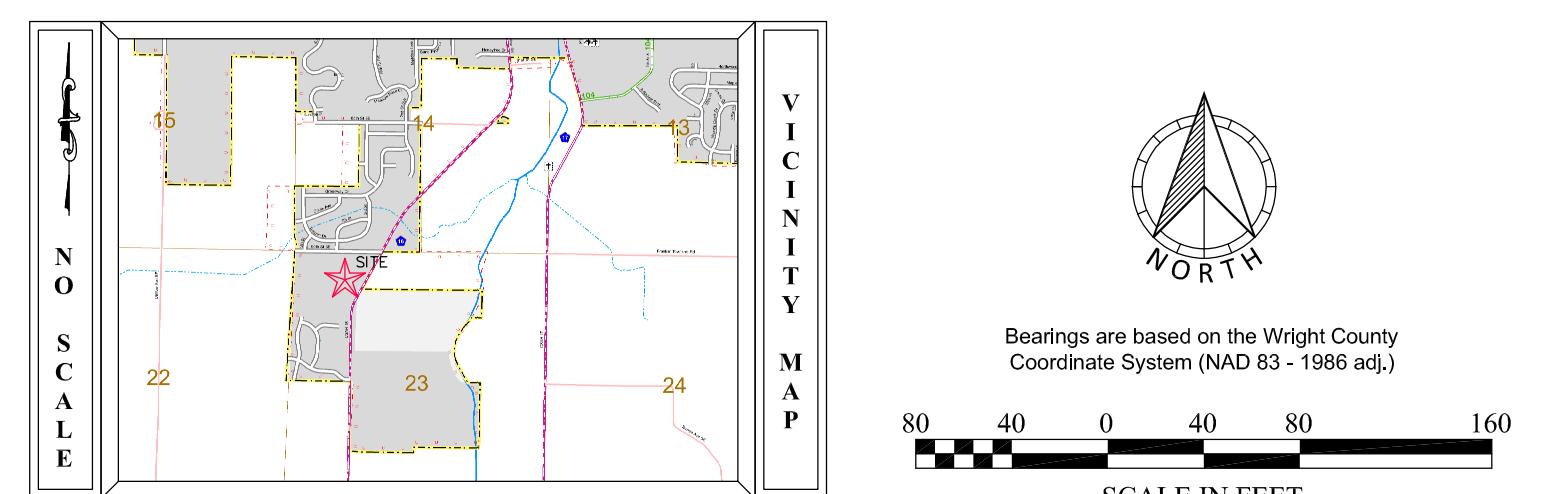
This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Custom Home Builders Title, LLC, as issuing agent for Old Republic National Title Insurance Company File No. 52088 dated May 13, 2021.

1) We note the following with regards to Schedule B of the herein referenced Title Commitment:

- Item no.'s 8, 12, and 15 are not survey related
- Item no. 9 - Terms and conditions of Right-of-Way Easement, in favor of The Rural Cooperative Power Association, as created in document filed June 26, 1951, in Book 9 of Miscellaneous Record, Page 190. Partially released by Partial Release of Easement, filed August 27, 1987, as Document No. 431376. [Shown hereon.](#) ②
- Item no. 10 - Terms and conditions of Right-of-Way Easement, in favor of The Rural Cooperative Power Association, as created in document filed June 26, 1951, in Book 9 of Miscellaneous Record, Page 138. Partially released by Partial Release of Easement, filed March 22, 2004, as Document No. A991317. [Easement lies west of subject parcel.](#)
- Item no. 11 - Terms and conditions of Right-of-Way Easement, in favor of Wright-Hennepin Cooperative Electric Association, as created in document filed August 6, 1976, in Book 68 of Miscellaneous Record, Page 303 Document No. 307144. [Shown hereon.](#) ②
- Item no. 13 - Subject to 90th Street SE as laid out and traveled. [Shown hereon.](#) ②
- Item no. 14 - Subject to County State Aid Highway No. 16/Watertown and Rockford Road as laid out and traveled. [Shown hereon.](#) ②

2) Observations/Comments noted hereon per field survey such as (but not limited to): access, occupation, and easements and/or servitudes:

- Under ground utilities were located on the east side of the subject parcel that are not covered by easements provided to the surveyor.



SURVEY LEGEND

●	CAST IRON MONUMENT	○	PIEZOMETER	●	WOE
●	IRON PIPE MONUMENT SET	○	POWER POLE	●	FIRST FLOOR ELEVATION
●	IRON PIPE MONUMENT FOUND	○	GUY WIRE	●	GARAGE FLOOR ELEVATION
●	DRILL HOLE FOUND	○	ROOF DRAIN	●	TOF
●	CHISELED "X" MONUMENT SET	○	LIFT STATION	●	TOP OF FOUNDATION ELEV.
●	CHISELED "X" MONUMENT FOUND	○	SANITARY MANHOLE	●	LOE
●	REBAR MONUMENT FOUND	○	SANITARY CLEANOUT	●	LOWEST OPENING ELEV.
●	PK NAIL MONUMENT SET	○	STORM MANHOLE	●	CONCRETE
●	PK NAIL MONUMENT FOUND	○	STORM DRAIN	●	BITUMINOUS
●	PK NAIL W/ ALUMINUM DISC	○	CATCH BASIN	●	BUILDING SETBACK LINE
●	SURVEY CONTROL POINT	○	FLARED END SECTION	●	CTV
●	SURVEY CONTROL POINT	○	TREE CONIFEROUS	●	CONCRETE CURB
●	A/C UNIT	○	TREE CONIFEROUS REMOVED	●	CONTOUR EXISTING
●	CABLE TV PEDESTAL	○	TREE DECIDUOUS REMOVED	●	CONTOUR PROPOSED
●	ELECTRIC TRANSFORMER	○	TREE DECIDUOUS	●	GUARD RAIL
●	ELECTRIC MANHOLE	○	TREE MANHOLE	●	DRAIN TILE
●	ELECTRIC METER	○	TELEPHONE PEDESTAL	●	ELECTRIC UNDERGROUND
●	ELECTRIC OUTLET	○	UTILITY MANHOLE	●	FENCE
●	LIGHT YARD LIGHT	○	UTILITY PEDESTAL	●	FIBER OPTIC UNDERGROUND
●	LIGHT POLE	○	UTILITY VAULT	●	GAS
●	PIPER OPTIC MANHOLE	○	WATERMAN MANHOLE	●	UNDERGROUND
●	FIRE DEPT. HOOK UP	○	WATER METER	●	OVERHEAD UTILITY
●	FLAG POLE	○	WATER SPIGOT	●	STORM SEWER
●	FUEL PUMP	○	WELL	●	TELEPHONE UNDERGROUND
●	FUEL TANK	○	MONITORING WELL	●	RETAINING WALL
●	PROPANE TANK	○	CURB STOP	●	UTILITY UNDERGROUND
●	GAS METER	○	GATE VALVE	●	WATERMAIN
●	GAS VALVE	○	HYDRANT	●	TRAFFIC SIGNAL
●	GAS MANHOLE	○	IRRIGATION VALVE	●	RAILROAD SIGNAL
●	GENERATOR	○	POST INDICATOR VALVE	●	RAILROAD SWITCH
●	GUARD POST	○	SIGN	●	SATELLITE DISH
●	HAND HOLE	○	SOIL BORING	●	WETLAND BUFFER SIGN



FIELD CREW	NO.	BY	DATE	REVISION
DH MD ST	1	EMW	8/9/2021	REVISED ROW AREAS
DRAWN				
EMW				
CHECKED				
DLS				
DATE				
5-6-21				

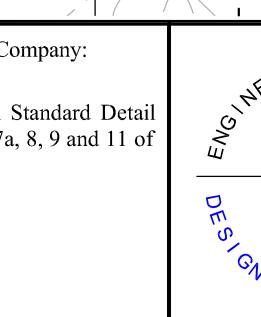
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To: GHT Equipment, Inc., a Minnesota Corporation, Custom Home Builders Title, LLC and Old Republic National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 4, 7a, 8, 9 and 11 of Table A thereof. The field work was completed on May 18th, 2021.

Daniel L. Schmidt
Daniel L. Schmidt, PLS
Minnesota License No. 26147

Date of Plat or Map: June 23rd, 2021



SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000
WWW.SATHRE.COM

TWP:118-RGE:25-SEC:23
Hennepin County
DELANO,
MINNESOTA

FILE NO.
43688-406
1
1

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR:

JP BROOKS, INC.



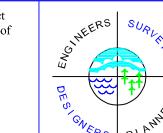
EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISION
XXX	1			
DRAWN	2			
XXX	3			
CHECKED	4			
XXX	5			
DATE				
XXXX/XX				

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I hereby certify that this survey, plan or report was prepared by me or under my direction and supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

BY Dated this 11th day of February, 2025.
NG 
Daniel L. Schmidt, PLS Minnesota License No. 26
ctvete@satre.com



SATHRE-BERGQUIST, INC.

14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-60

CITY PROJECT NO.

PRELIMINARY PLAT
PRAIRIE RIDGE
JP BROOKS, INC.

FILE NO.
43688-406

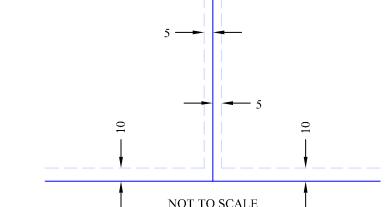
PP1

COMPONENT DATA

44.09 AC GROSS SITE
133 UNITS
5.67 AC - INTERNAL RIGHT-OF-WAY PUBLIC STREETS
0.78 AC - EXTERNAL ROW
2.22 AC - WETLAND
35.42 AC - RESIDENTIAL - NET AREA
122 / 35.42 = 3.45 Units / AC

<h1 style="margin: 0;">PREPARED BY</h1>	
<p>ENGINEER <u>SATHRE-BERGOQUIST, INC.</u> 14000 25TH AVE N, SUITE 120 PLYMOUTH, MINNESOTA 55447</p>	
<p>PHONE: (952) 476-6000 FAX: (952) 476-0104</p>	
<p>CONTACT : DAN SCHMIDT EMAIL: SCHMIDT@SATHRE.COM CHARLES WIEMERSLAGE, P.E. EMAIL: CWIEMERSLAGE@SATHRE.COM</p>	

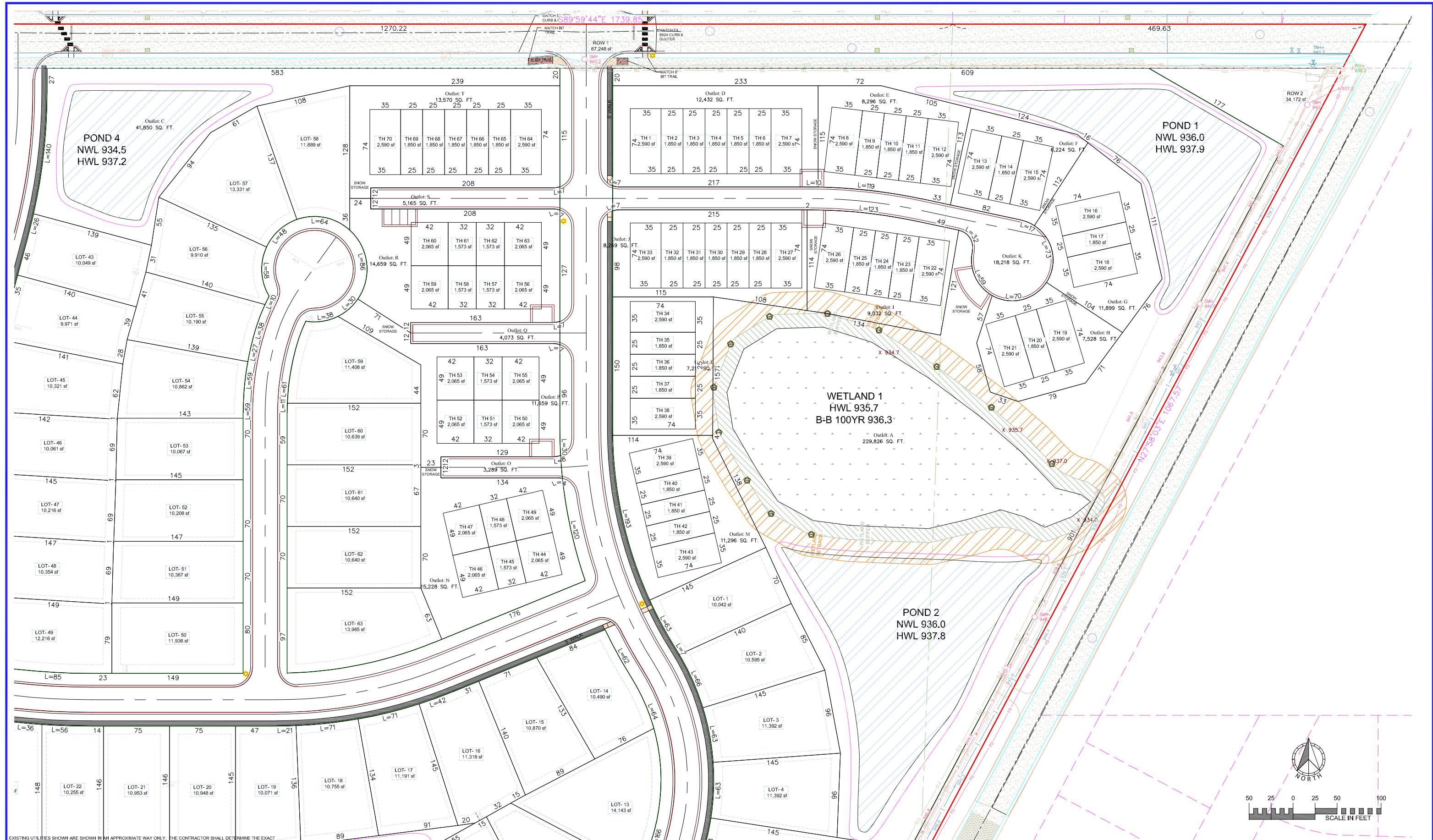
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:



Being 5 feet in width and adjoining lot lines, unless otherwise indicated, and being 10 feet in width and adjoining right of way lines, unless otherwise indicated on this plat.



SCALE IN FEET



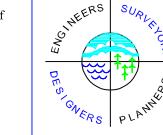
AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES				
DRAWING NAME	NO.	BY	DATE	REVISION
XXX	1			
DRAWN	2			
XXX	3			
CHECKED	4			
XXX	5			
DATE				
XX/XX/XX				

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISION	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITH SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THE INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.
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CHECKED	4				
XXX	5				
DATE					

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Dated this 11th day of February, 2025.

STATE
LTING
Daniel L Schmidt, PLS
ctvete@satre.com



SATRE-BERGQUIST, INC.

14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
—
**LAKEVILLE,
MINNESOTA**

PRELIMINARY PLAT
PRAIRIE RIDGE
JP BROOKS, INC.

43688-406



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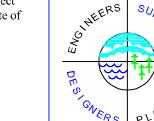
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51
Dated this 11th day of January, 2021.

Daniel L Schmidt, PLS
etvete@sathre.com



SATHRE-BERGQUIST, INC.

14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.

PRELIMINARY PLAT
PRAIRIE RIDGE
JP BROOKS, INC.

FILE NO.
43688-406

PP3

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BASIN 5
NWL 936.5
HWL 938.3

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HWL 938.3

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NWL 934.5
HWL 937.2

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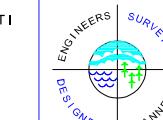


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AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA

CHARLES A. WIEMERSLAGE, P.E.



SATHRE-BERGQUIST, INC.

14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

QUIST, INC.
MN. 55447 (952) 476-6000

CITY PROJECT NO. BB7014

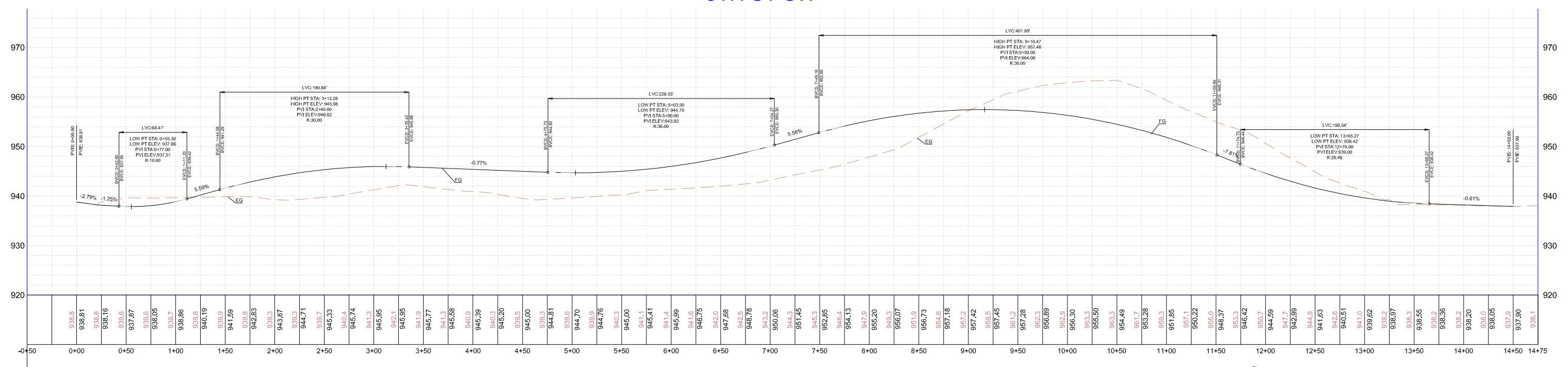
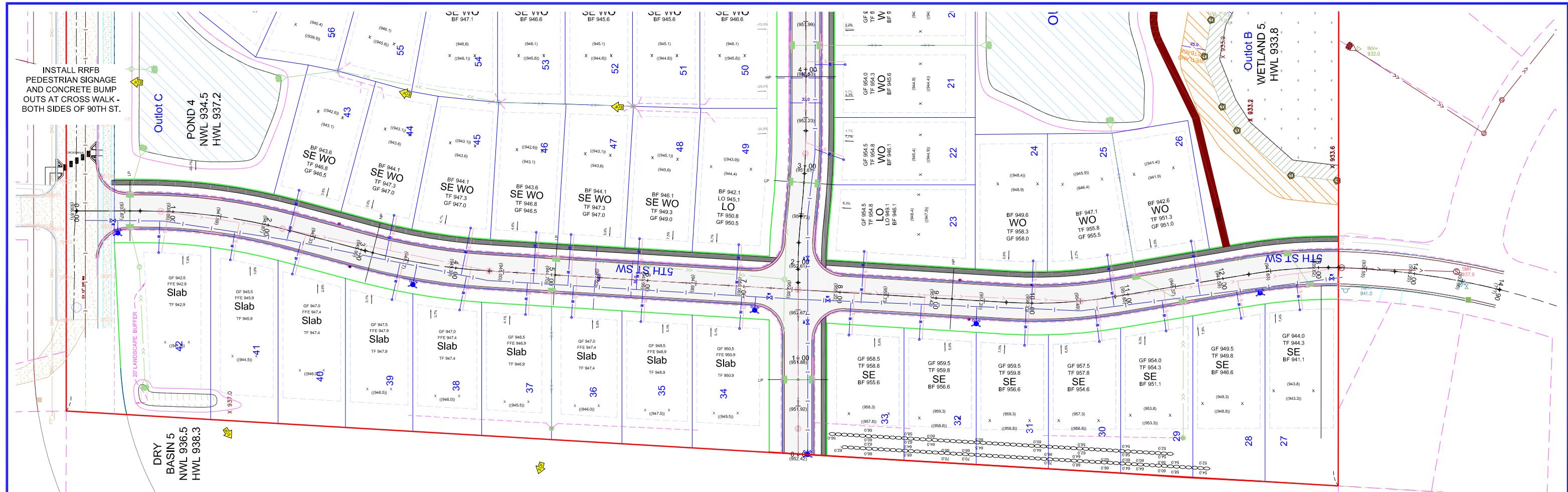
PRELIMINARY STREET PLAN

PRAIRIE RIDGE IP BROOKS INC.

FILE NO.
43688-406

ST1

STC



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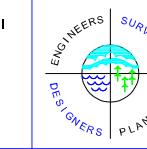
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02-11-25				

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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 04/11/25 Llc. No. 49180



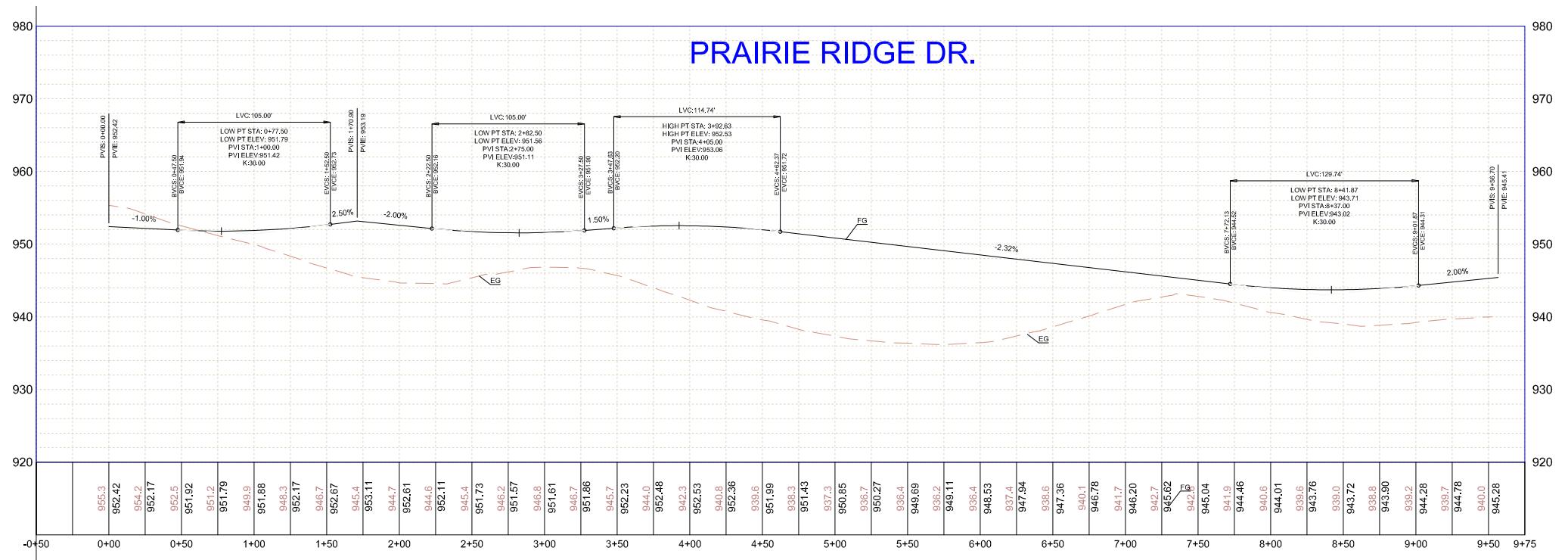
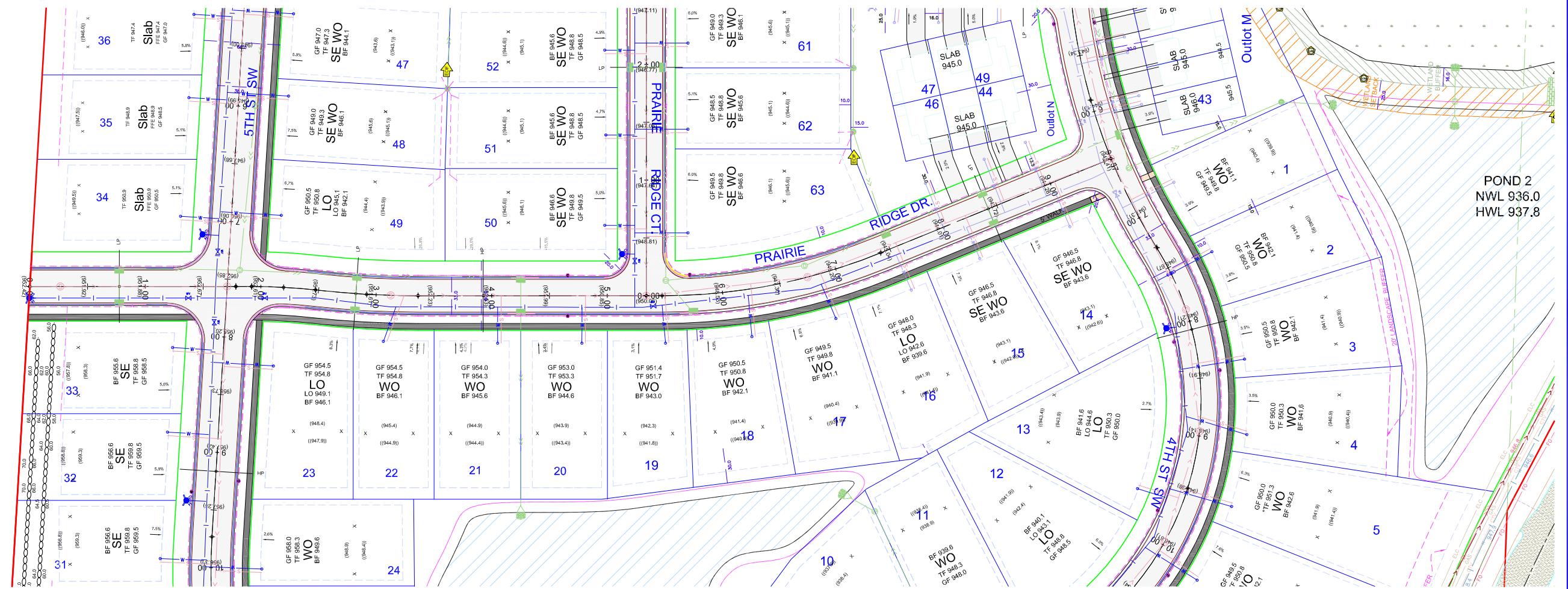
SATHRE-BERGQUIST, INC.

14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
—
DELANO,
MINNESOTA

PRELIMINARY STREET PLAN
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
ST2
ST6



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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 07/11/25
Lic. No. 49180

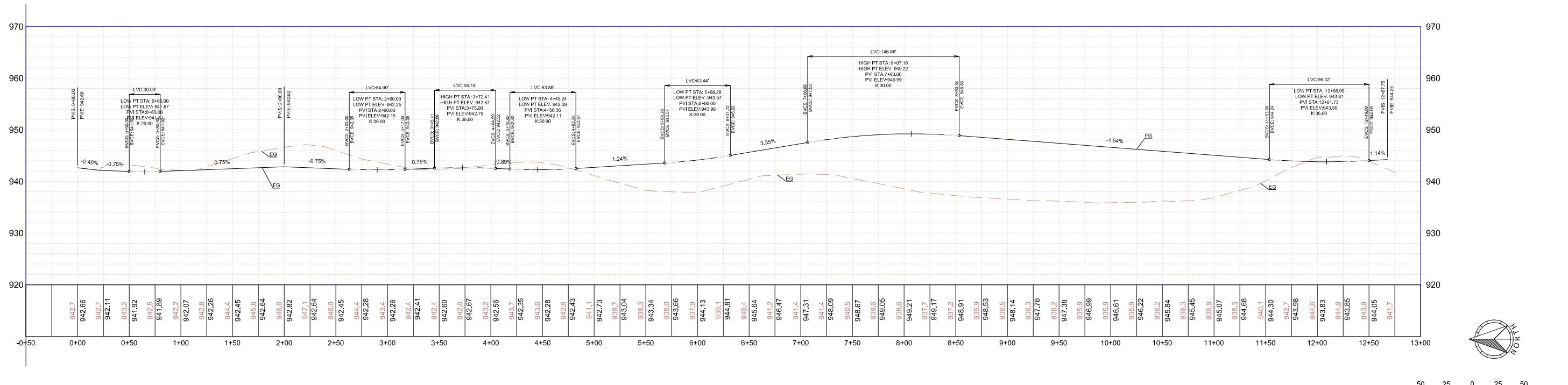
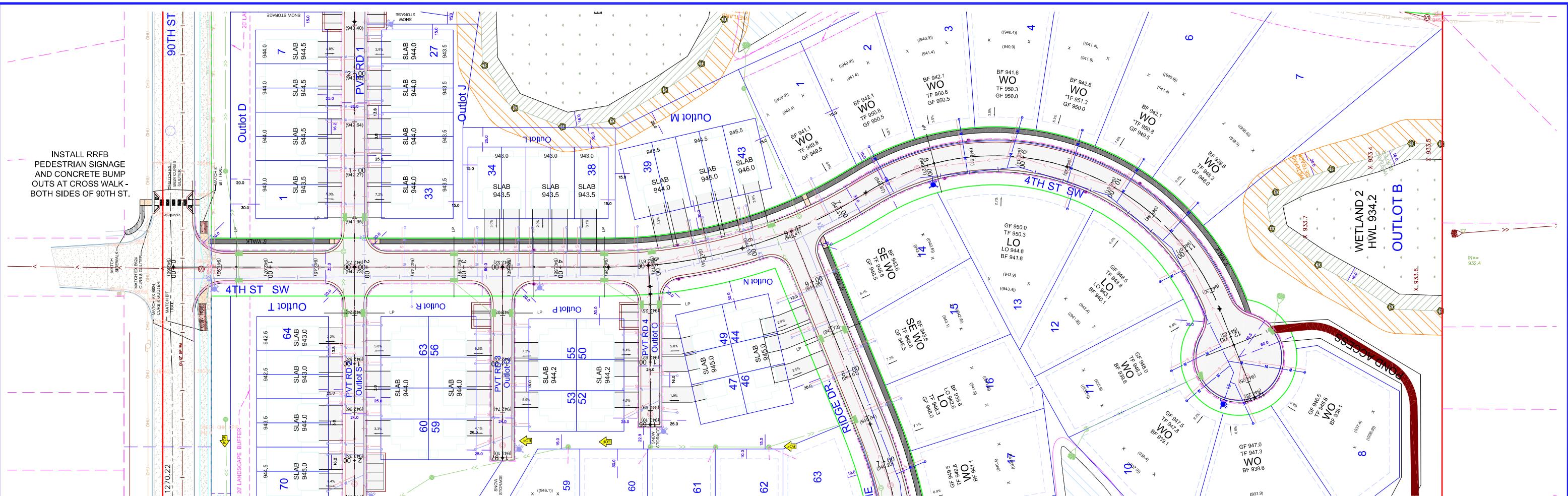


SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
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DELANO,
MINNESOTA

PRELIMINARY STREET PLAN
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
ST3
ST6



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

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USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHIN THE CONTEXT OF THE PRODUCT'S SPECIFIED PURPOSES AND INDEMNITY SATRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.

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TE
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CHARLES A. WIEMERSLAGE, P.E.

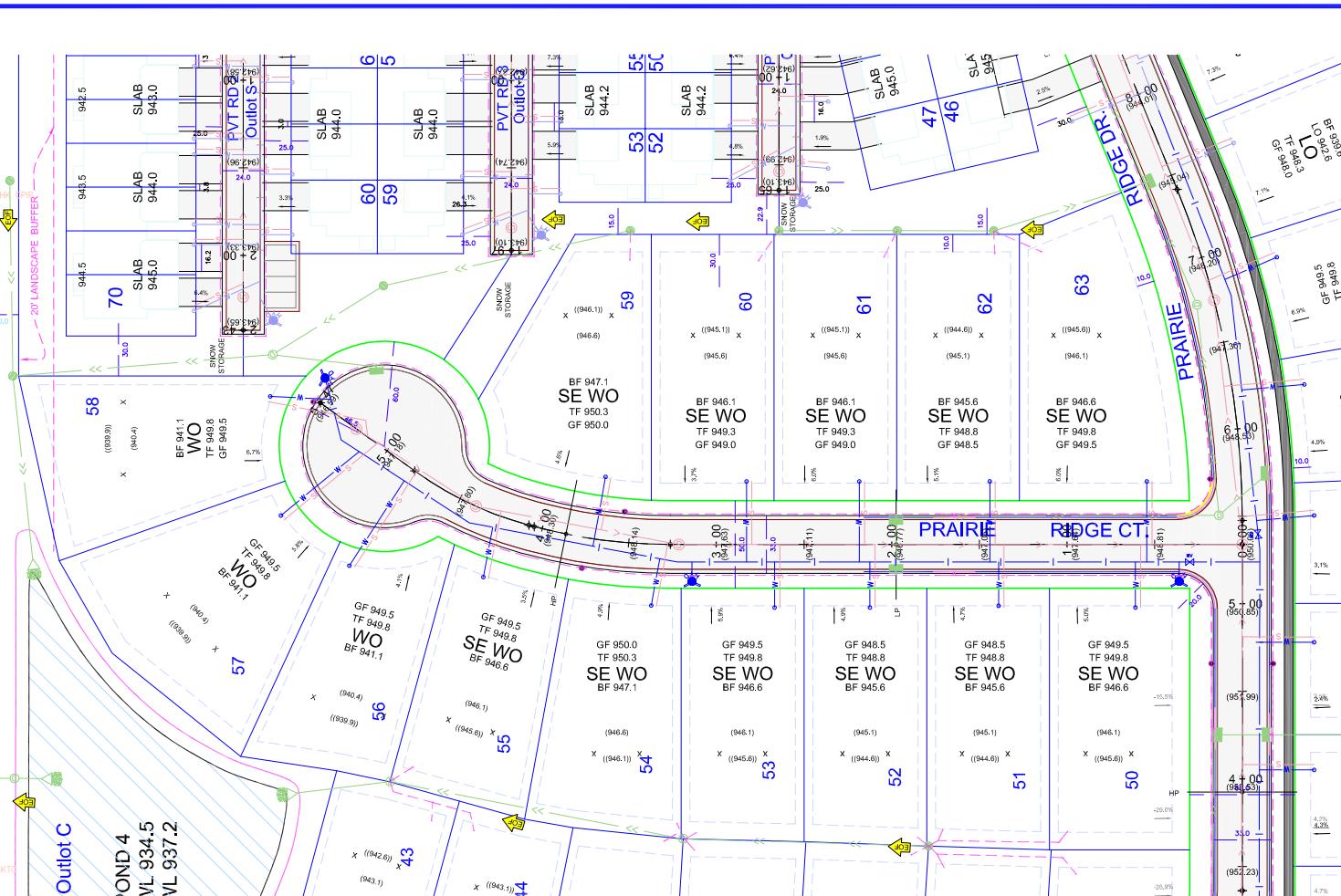
SATHRE-BERGQUIST, INC.

14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

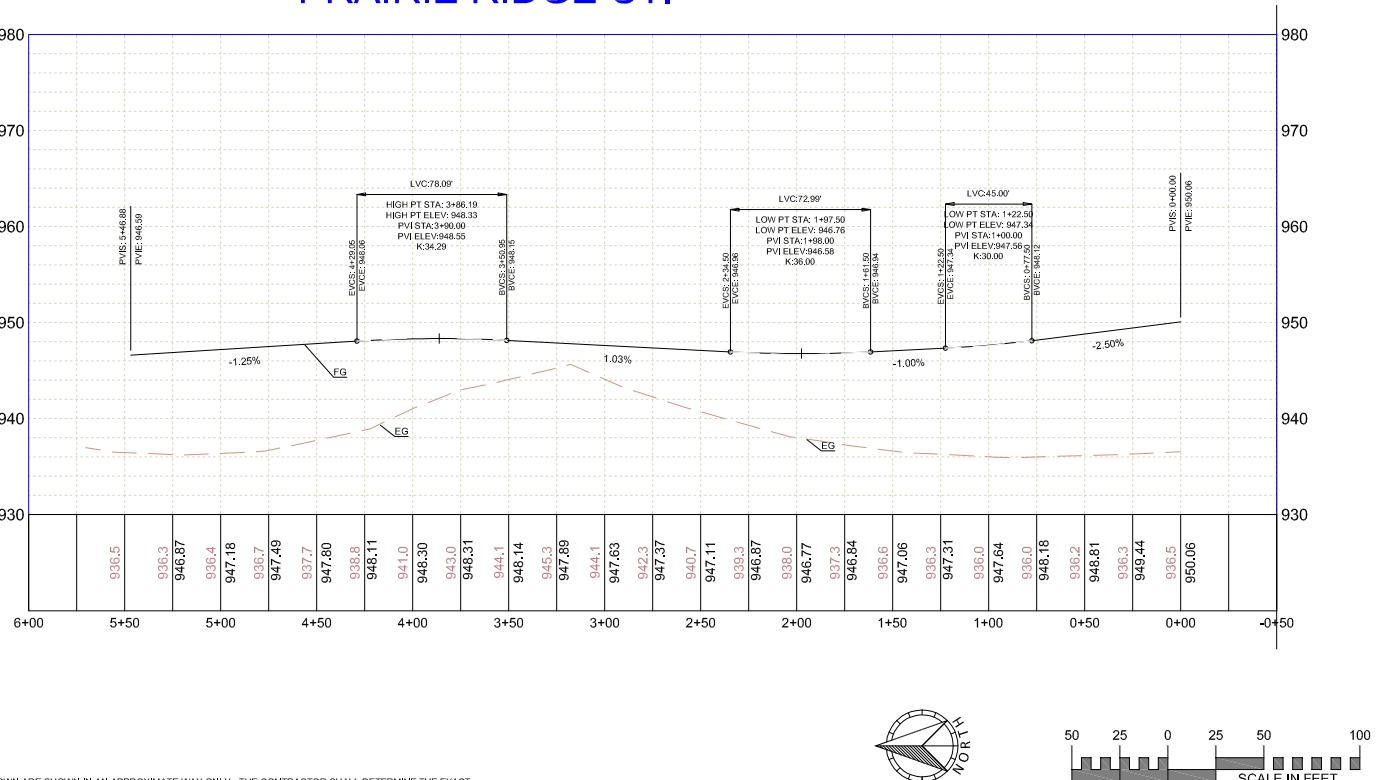
6 DELANO,
MINNESOTA

PRELIMINARY STREET PLAN
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
ST4
ST6



PRAIRIE RIDGE CT.



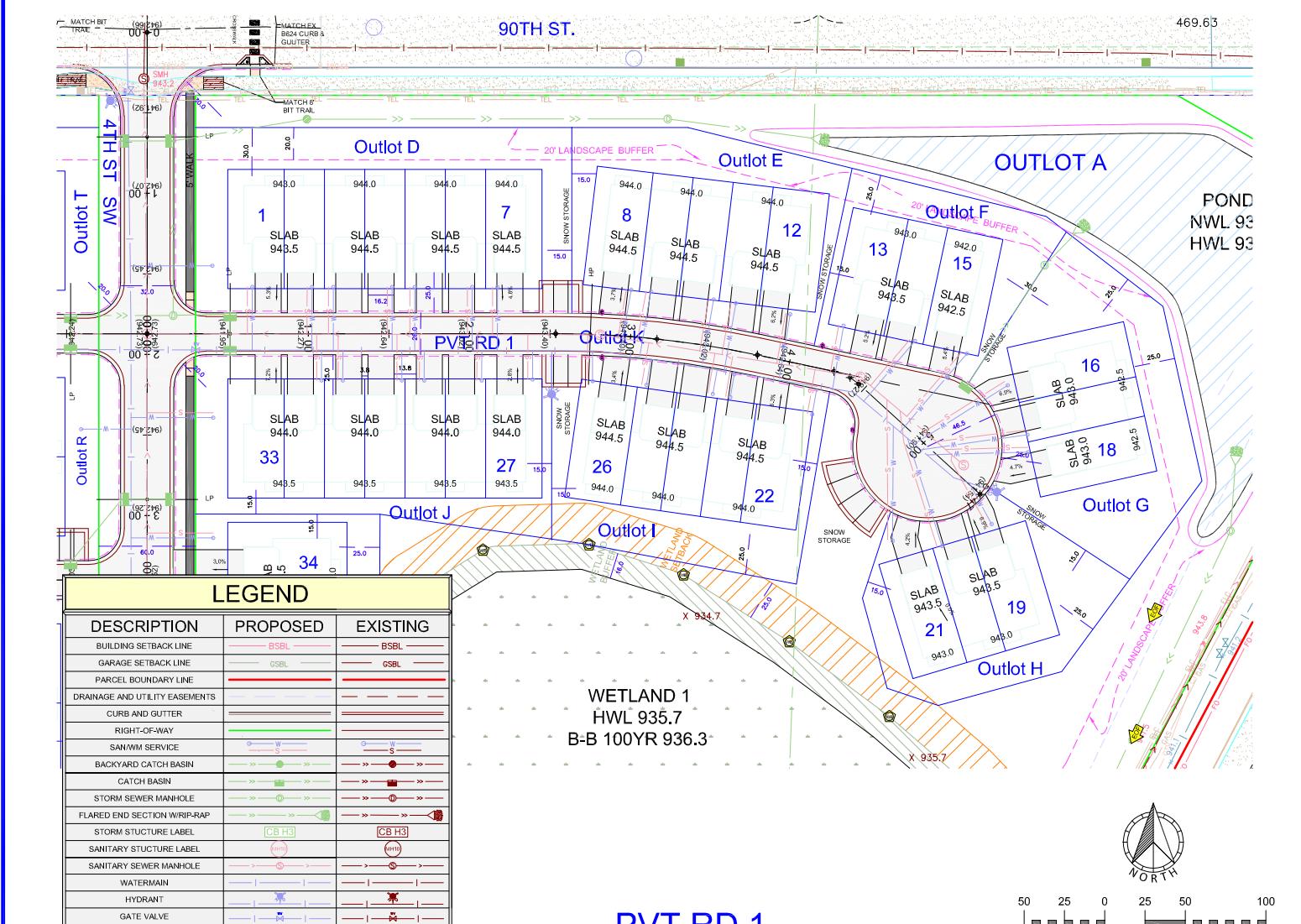
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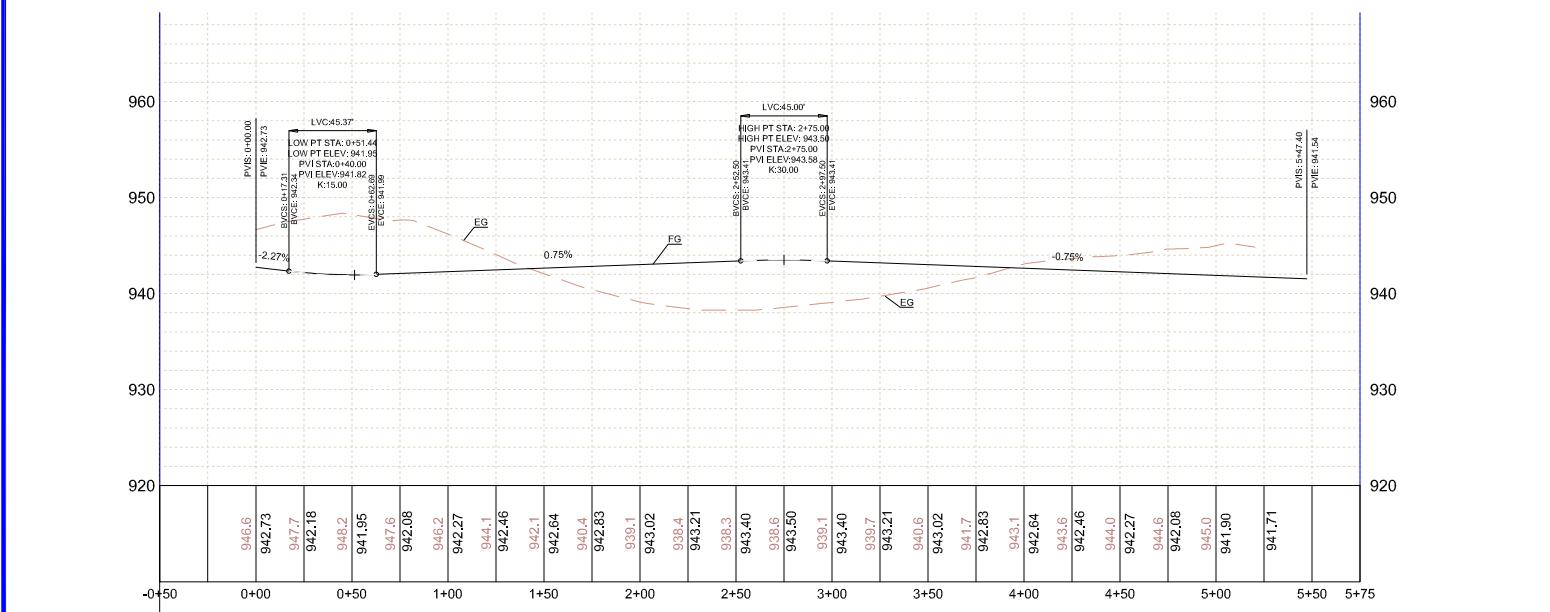
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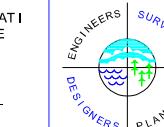
Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 07/11/25
Lic. No. 49180



PVT RD 1

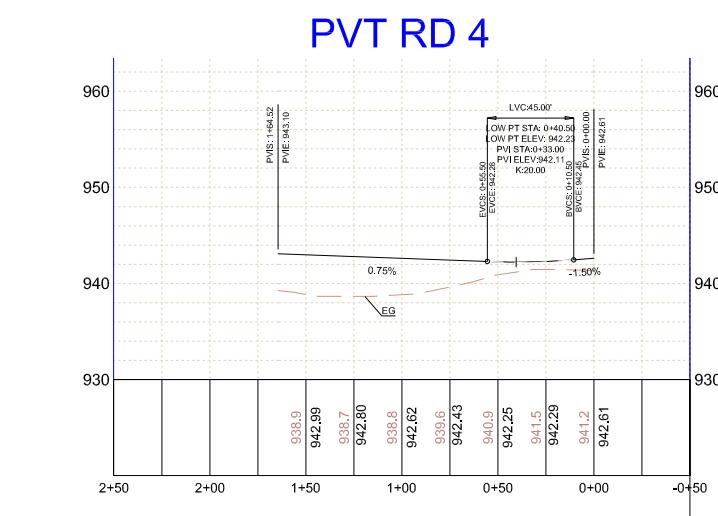
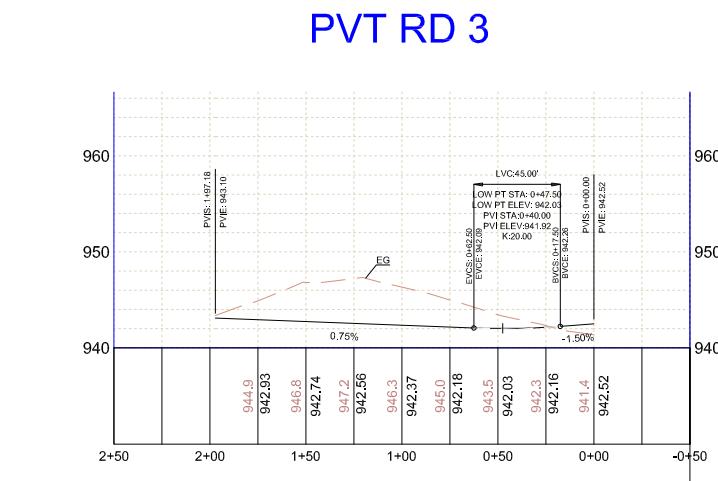
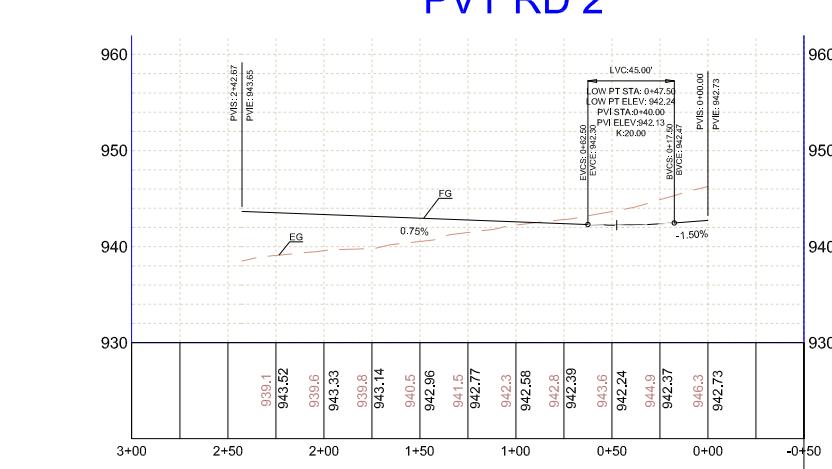
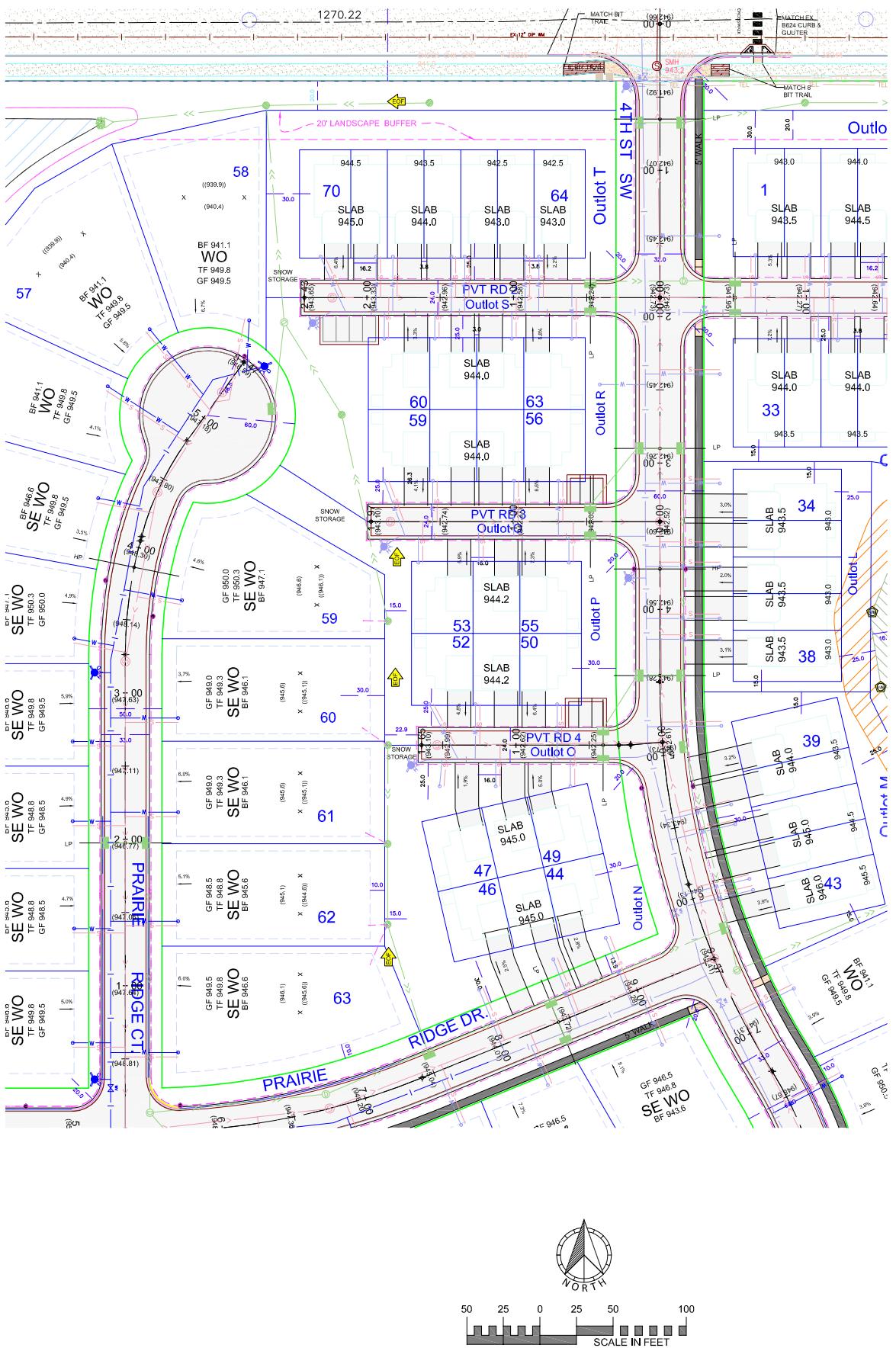


SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000



CITY PROJECT NO.
--
DELANO,
MINNESOTA
PRELIMINARY STREET PLAN
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
ST5
ST6



LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
SAN/WM SERVICE	W S	W S
BACKYARD CATCH BASIN	○ >> ○ >>	○ >> ● >>
CATCH BASIN	○ >> ○ >>	○ >> ○ >>
STORM SEWER MANHOLE	○ >> ○ >>	○ >> ○ >>
FLARED END SECTION W/RIP-RAP	○ >> ○ >> ○	○ >> ○ >>
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL	(H3)	(H3)
SANITARY SEWER MANHOLE	○ >	○ >
WATERMAIN	— — —	— — —
HYDRANT	○	○
GATE VALVE	○	○

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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.



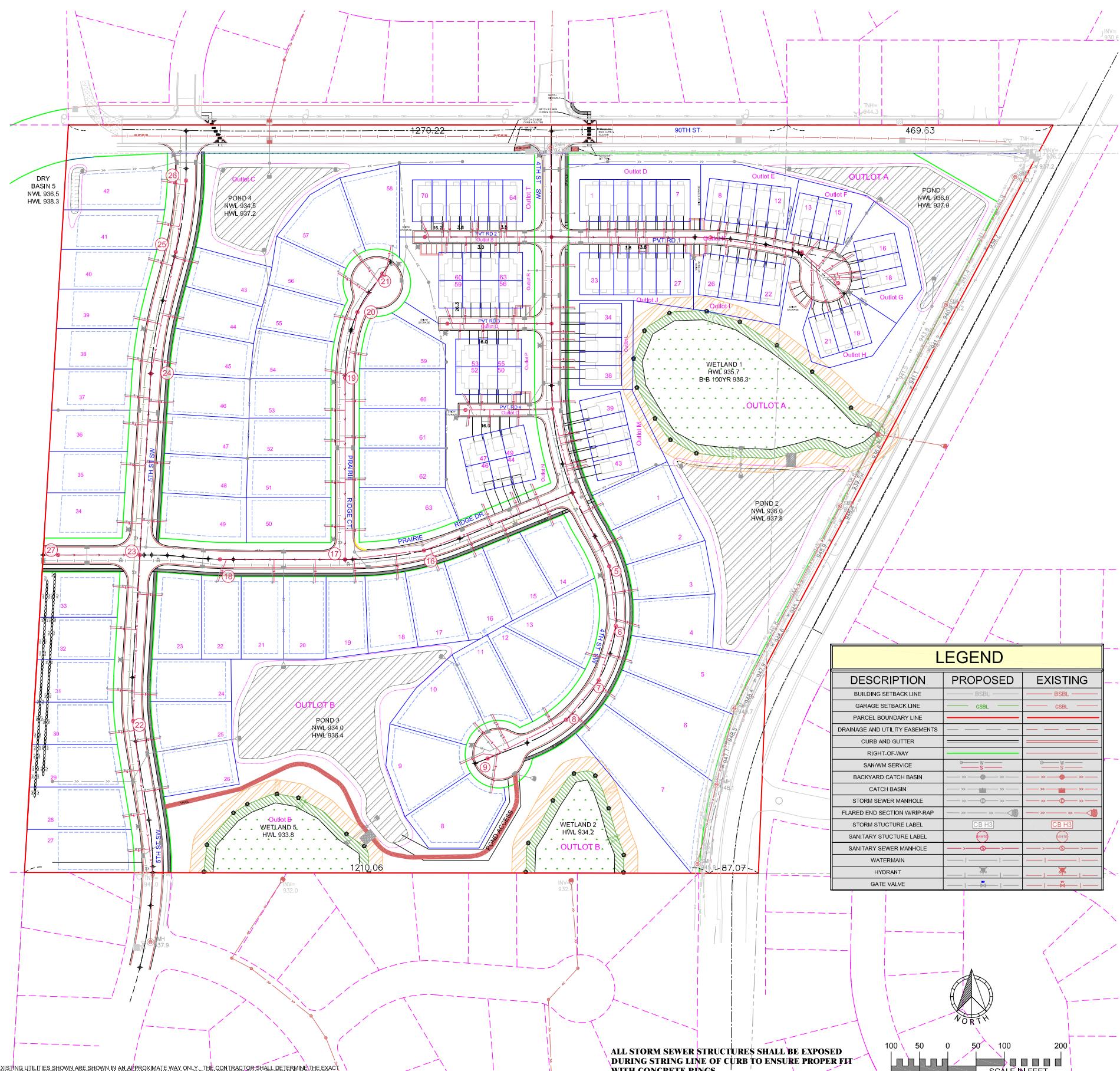
SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

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CITY PROJECT NO.
—
**DELANO,
MINNESOTA**

PRELIMINARY STREET PLAN
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406

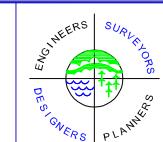


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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 07/11/13 U.I.C. No. 49102



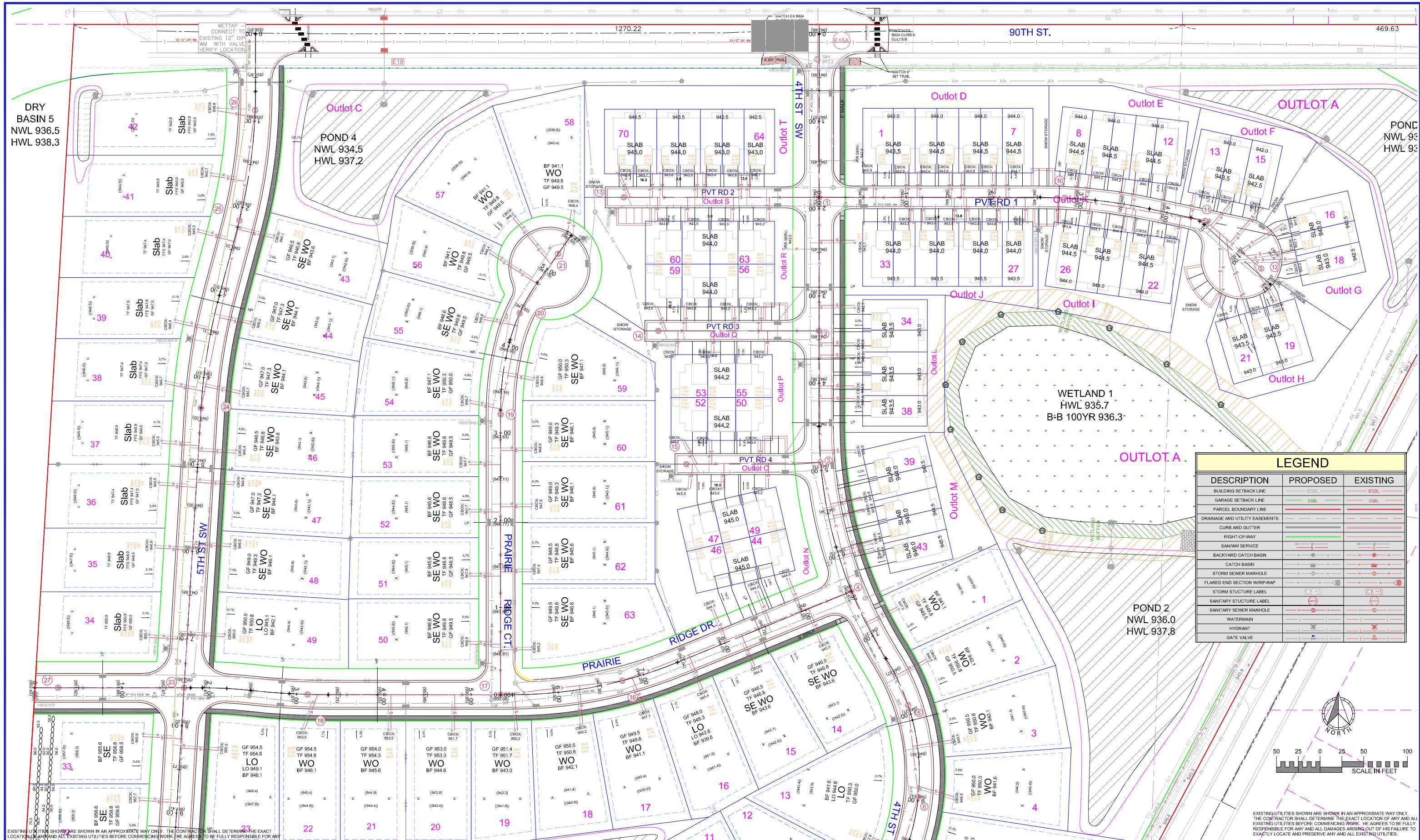
SATHRE-BERGQUIST, INC.

14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
**DELANO,
MINNESOTA**

PRELIMINARY UTILITY PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
UP1
UP7

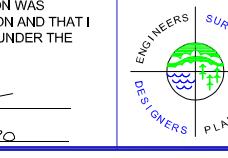


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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 07/11/25
Lic. No. 49180

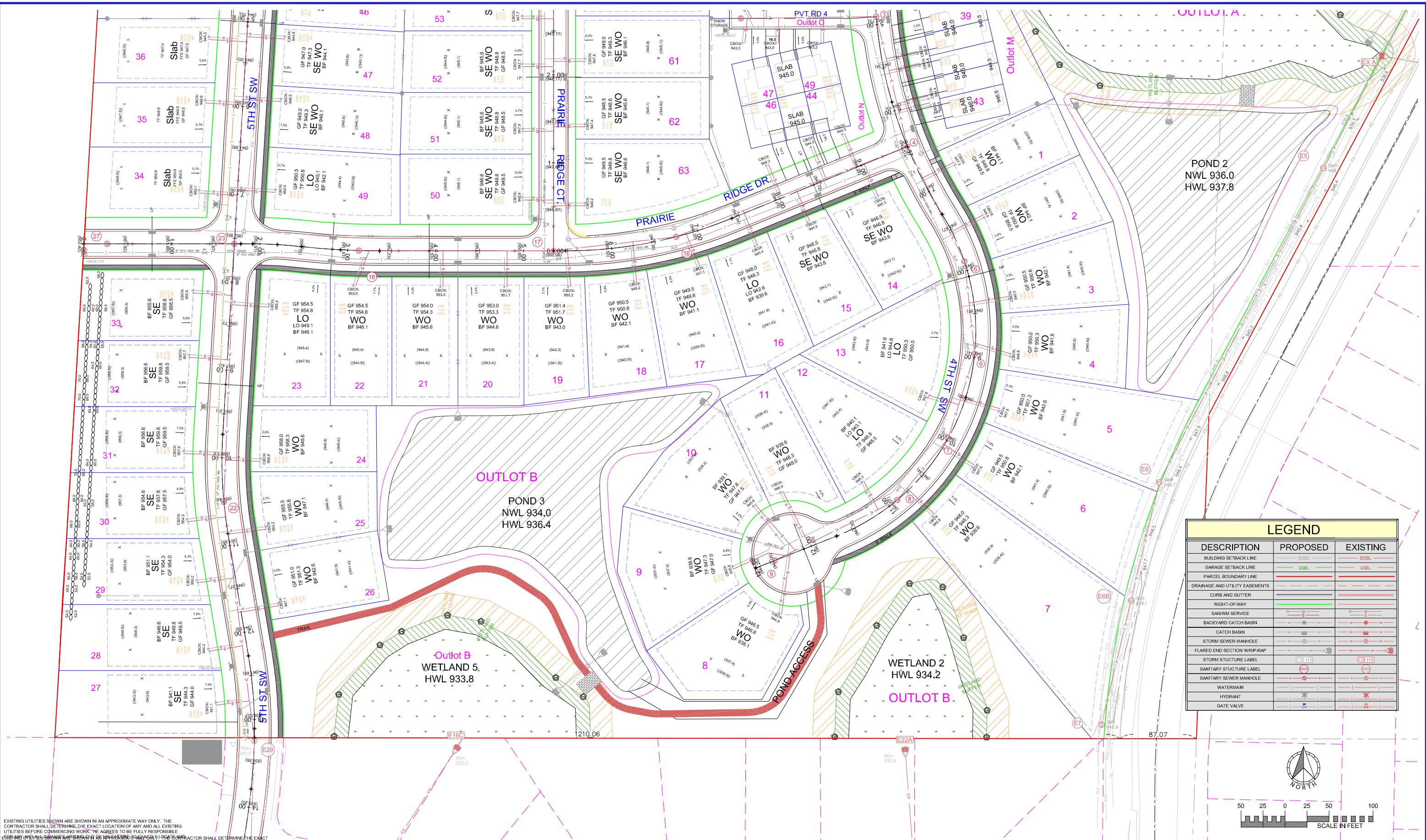


SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
-
DELANO,
MINNESOTA

PRELIMINARY UTILITY PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
UP2
UP7



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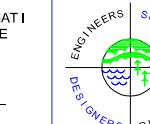
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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 07/11/25
Lic. No. 49180

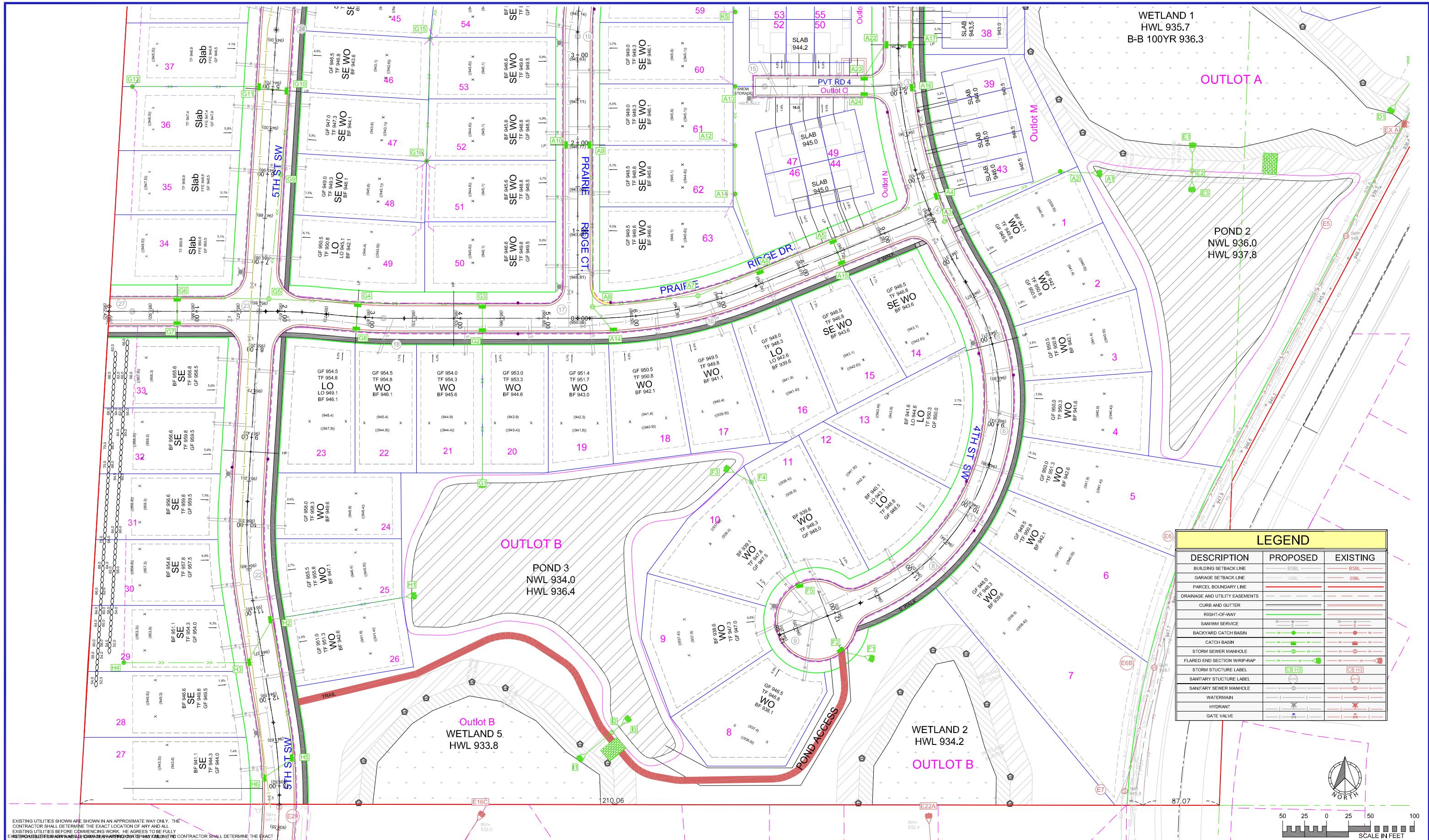
SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000



CITY PROJECT NO.
-
DELANO,
MINNESOTA

PRELIMINARY UTILITY PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
UP3
UP7



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

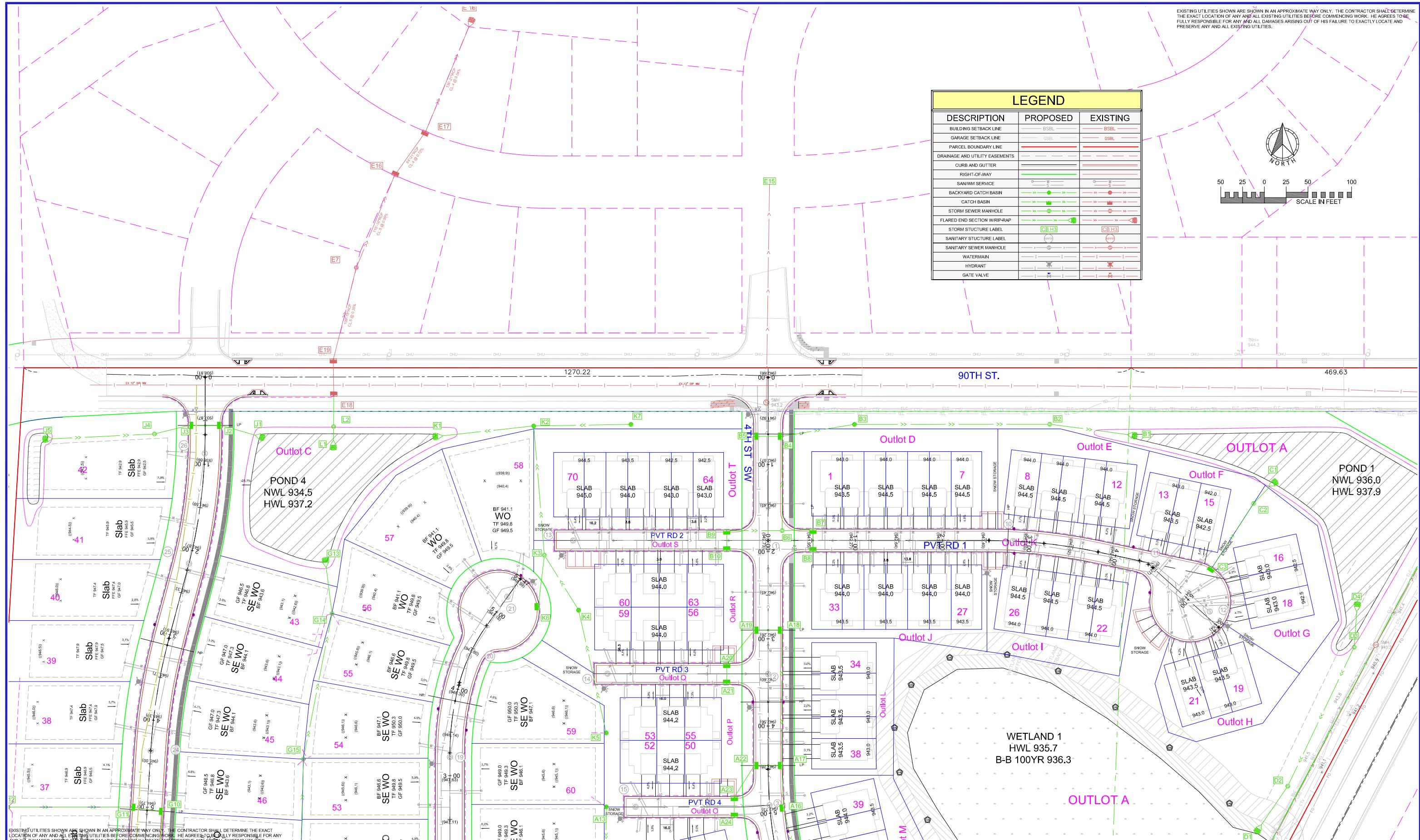
LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSL	GSBL
PARCEL BOUNDARY LINE	—	—
DRAINAGE AND UTILITY EASEMENTS	—	—
CURB AND GUTTER	—	—
RIGHT-OF-WAY	—	—
SAN/WM SERVICE	—	—
BACKYARD CATCH BASIN	—	—
CATCH BASIN	—	—
STORM SEWER MANHOLE	—	—
FLARED END SECTION W/ RIP-RAP	—	—
STORM STRUCTURE LABEL	CB H3	CB H3
SANITARY STRUCTURE LABEL	—	—
SANITARY SEWER MANHOLE	—	—
WATERMAN	—	—
HYDRANT	—	—
GATE VALVE	—	—



50 25 0 25 50 100
SCALE IN FEET

90TH ST.

469.63



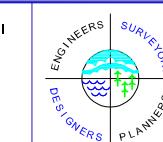
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CITY PROJECT NO.
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DELANO,
MINNESOTA

PRELIMINARY UTILITY PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
UP6
UP7

Pipe Table			
Pipe Name	Size	Length	Slope
A1-A2	30.0"	42.1 LF	0.24%
A2-A3	30.0"	143.6 LF	0.28%
A3-A4	30.0"	30.3 LF	0.33%
A4-A5	24.0"	131.6 LF	0.23%
A4-A16	21.0"	126.3 LF	0.40%
A5-A6	21.0"	90.3 LF	0.33%
A6-A7	18.0"	75.4 LF	3.58%
A6-A11	15.0"	90.4 LF	0.55%
A6-A15	15.0"	31.7 LF	0.95%
A7-A8	18.0"	120.7 LF	0.50%
A8-A9	18.0"	184.3 LF	0.49%
A8-A14	12.0"	36.9 LF	1.35%
A9-A10	15.0"	31.2 LF	0.64%
A11-A12	15.0"	55.0 LF	0.55%
A12-A13	15.0"	67.4 LF	0.59%
A16-A17	21.0"	48.7 LF	0.41%
A17-A18	15.0"	155.2 LF	0.39%
A17-A22	15.0"	31.5 LF	0.63%
A18-A19	15.0"	31.5 LF	0.63%
A19-A20	15.0"	50.1 LF	0.60%

Pipe Table			
Pipe Name	Size	Length	Slope
A20-A21	15.0"	22.3 LF	0.90%
A22-A23	15.0"	42.9 LF	0.70%
A23-A24	15.0"	22.2 LF	0.90%
B1-B2	21.0"	95.6 LF	0.31%
B2-B3	21.0"	223.9 LF	0.27%
B3-B4	21.0"	84.4 LF	0.36%
B4-B5	18.0"	31.5 LF	0.95%
B4-B6	15.0"	108.3 LF	0.37%
B6-B7	15.0"	35.3 LF	0.85%
B6-B9	15.0"	63.6 LF	0.47%
B7-B8	15.0"	24.2 LF	0.82%
B9-B10	15.0"	22.2 LF	0.90%
G10-G11	15.0"	36.6 LF	0.55%
G11-G12	12.0"	141.6 LF	0.56%
G13-G14	15.0"	59.2 LF	0.51%
G14-G15	15.0"	170.3 LF	0.59%
G15-G16	12.0"	140.1 LF	0.50%
H1-H2	15.0"	160.9 LF	0.62%
H2-H3	15.0"	57.0 LF	0.53%
H2-H5	15.0"	159.6 LF	0.31%
H3-H4	12.0"	140.3 LF	0.71%
H4-H5	18.0"	108.5 LF	0.35%

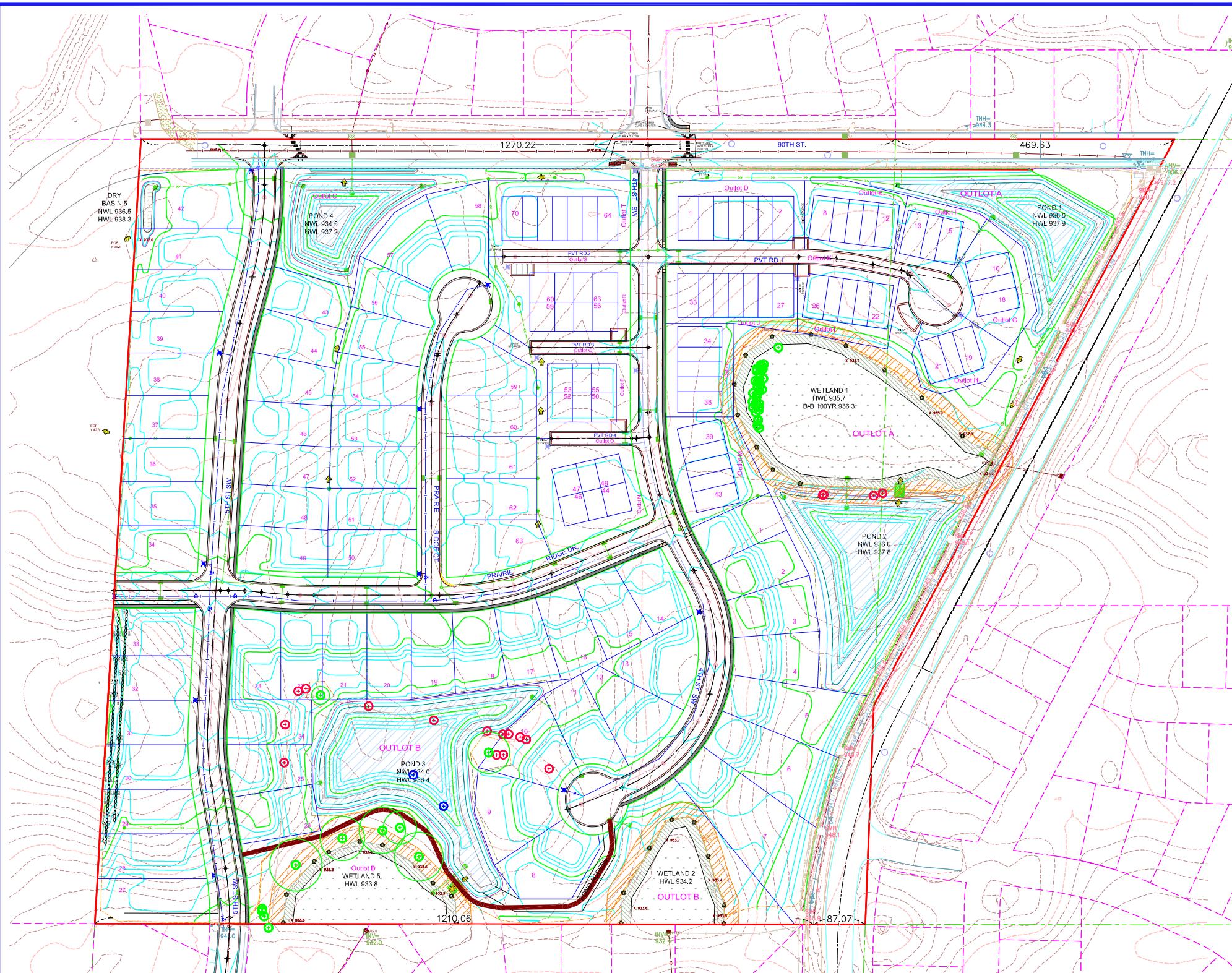
Pipe Table			
Pipe Name	Size	Length	Slope
F3-F4	15.0"	29.4 LF	0.68%
F4-F5	15.0"	128.1 LF	3.90%
H5-H6	12.0"	41.8 LF	0.72%
I1-I2	36.0"	44.2 LF	2.49%
I2-I3	15.0"	21.3 LF	-2.35%
J1-J2	18.0"	46.5 LF	0.22%
J2-J3	15.0"	36.5 LF	0.55%
J3-J4	15.0"	41.1 LF	0.97%
J4-J5	12.0"	122.9 LF	0.73%
K1-K2	15.0"	111.0 LF	0.45%
K2-K3	15.0"	148.7 LF	0.67%
K2-K7	15.0"	111.5 LF	0.72%
K3-K4	15.0"	74.4 LF	1.08%
K3-K6	15.0"	59.5 LF	5.88%
K4-K5	12.0"	144.4 LF	0.83%
L1-A2	18.0"	21.4 LF	-4.68%
L2-LE18	18.0"	35.8 LF	1.40%
L16E7	18.0"	114.7 LF	0.99%
LE16	21.0"	61.4 LF	0.72%
LE17	21.0"	136.0 LF	0.54%
LE18	18.0"	41.4 LF	0.80%
LE19	18.0"	108.5 LF	0.35%

FES TABLE				
Structure Name	Type	Size (in.)	Inv	C.Y. RIP RAP
A1	FES	30	936.0	
B1	FES	21	936.0	
C1	FES	15	936.0	
D1	FES	21	934.0	
D4	FES	15	934.5	
E1	FES	24	934.8	
E3	FES	21	933.5	
F1	FES	15	938.2	
F3	FES	15	934.0	
G1	FES	30	934.0	
G13	FES	15	934.5	
H1	FES	15	934.0	
I1	FES	36	932.9	
I3	FES	15	932.5	
J1	FES	18	934.5	
J5	FES	12	936.5	
K1	FES	15	934.5	
L1	FES	18	933.0	

OUTLET STRUCTURE TABLE			
Structure Name	Type	Inv	Detail
D3	OCS	935.0 935.50	SEE STRUCTURE DETAIL
E2	OCS	934.0 935.00	SEE STRUCTURE DETAIL
I2	OCS	933.0 934.00	SEE STRUCTURE DETAIL
L2	OCS	934.0 934.50	SEE STRUCTURE DETAIL

STRUCTURE TABLE							
STRUCTURE NAME	TYPE	DIAMETER	RIM	BUILD	INV	CASTING	NOTES
A2	STMH		939.4	6.3"	933.1		
A3	CBMH		945.3	8.8"	936.5		
A4	CBMH		944.7	8.1"	936.6		
A5	CBMH		943.3	6.4"	936.9		
A6	CBMH		944.5	7.3"	937.2		
A7	STMH		946.4	5.2"	941.2		
A8	STMH		949.2	7.1"	942.1		
A9	CBMH		946.3	3.3"	943.0		
A10	CB		946.6	3.1"	943.5		
A11	CBMH		942.5	4.4"	938.1		
A12	CBMH		942.6	4.2"	938.4		
A13	CBMH		942.3	3.5"	938.8		
A14	CB		948.6	3.6"	945.0		
A15	CB		943.4	4.4"	939.0		
A16	CBMH		942.4	5.3"	937.1		
A17	CBMH		942.1	4.8"	937.3		
A18	CBMH		942.0	4.1"	937.9		
A19	CBMH		942.0	3.9"	938.1		
A20	CBMH		941.9	3.5"	938.4		
A21	CB		941.9	3.3"	938.6		

STRUCTURE TABLE							
STRUCTURE NAME	TYPE	DIAMETER	RIM	BUILD	INV	CASTING	NOTES
A22	CBMH		942.1	4.3"	937.8		
A23	CBMH		942.1	4.0"	938.1		
A24	CB		942.1	3.8"	938.3		
B2	STMH		939.9	3.6"	936.3		
B3	CBMH		941.4	4.6"	936.9		
B4	CBMH		941.4	7.2"	934.2		
B5	CBMH		941.4	3.7"	937.7		



CONSTRUCTION NOTES

1. INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OF DELANO, WATERSHED DISTRICT OR DIRECTED BY THE ENGINEER.
2. THE WATER QUALITY POND MUST BE EXCAVATED AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER DETENTION DURING CONSTRUCTION. SAND, CLAYS, AND SILTS MUST BE REMOVED FROM THE POND AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT. REFER TO SECTION 2.2 OF THE STORM WATER POLLUTION PREVENTION PLAN.
3. BEGIN GRADING. INSTALL PERFORATED RISER PIPE IN PONDS WHEN POND GRADING IS COMPLETE. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. THE TEMPORARY DRAINAGE PIPES SHALL BE INCIDENTAL TO THE GRADING OPERATIONS. INSTALL SILT FENCE AROUND EXCAVATED POND, AFTER THE AS-BUILT ELEVATIONS HAVE BEEN VERIFIED BY THE ENGINEER.
4. INSPECT POND, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
5. LINE ALL PONDS WITH A MINIMUM 4" ORGANIC SOILS & SEED SLOPES BETWEEN NWL AND 100 YR HWL WITH A WATER TOLERANT MIX. (OR AS NOTED)
6. REMOVE PERFORATED RISER PIPE WHEN STORM SEWER AND OUTLET STRUCTURE FOR PONDS ARE INSTALLED (INCIDENTAL).
7. POND - 10:1 BENCH (1 FOOT) THEN 4:1 MAX
8. LO & WO FINISHED PADS SHALL BE FLATTER THAN 3:1. ALL OTHER SLOPES 4:1 MAX (UNLESS NOTED)
9. RESTORATION - 14 ACRES PLUS WETLAND RESTORATION AREAS
 - A. RESTORE ALL DISTURBED AREAS WITH 4" TO 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MTRL.
 - B. SEED ALL DISTURBED AREAS WITH MNDOT MIXTURE #250 AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (UNLESS OTHERWISE NOTED) WETLAND RESTORATION - BWRS 34-181 EMERGENT WETLAND SEED MIX FOR WETLANDS (AS NOTED IN THE WETLAND REPLACEMENT PLAN APPLICATION)
 - C. PLANT WETLANDS WITH A RATE OF 100 LBS./ACRE AND DIA ANCHOR IMMEDIATELY AFTER PLACEMENT.
 - D. MULCH WITH TYPE A, AT A RATE OF 100 LBS./ACRE AND DIA ANCHOR IMMEDIATELY AFTER PLACEMENT. USE WOODFIBER BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.
 - E. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
 - F. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.
 - G. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
10. SILT FENCE, BEFORE GRADING - XXXX LF
AFTER GRADING - N/A LF
11. TREE FENCE, BEFORE GRADING - N/A LF
12. EROSION BLANKET - 0 SY - AS REQUIRED ON ALL SLOPES 3:1 OR LESS

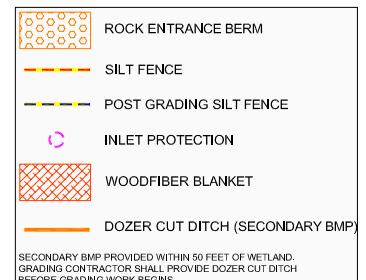
GENERAL NOTES:

1. THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.
2. THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES FOR ALL STORM SEWER INLETS (EXISTING AND PROPOSED) AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.
3. ALL RETAINING WALLS WILL REQUIRE A STRUCTURAL DESIGN, A BUILDING PERMIT & A FINAL INSPECTION REPORT (IF APPLICABLE)
4. A 1" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES. (SEE DETAIL ERO-6)
5. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL. THE GRADING CONTRACTOR WILL BE REQUIRED TO PROVIDE STREET SWEEPING ON HUNTER DRIVE DURING THE GRADING OPERATIONS, IF REQUIRED.
7. EXISTING UTILITIES SHOWN ARE IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

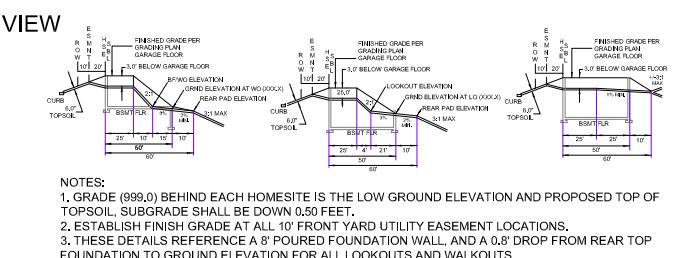
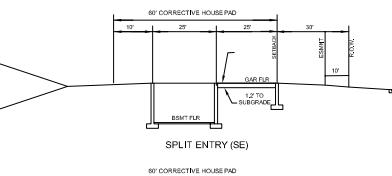
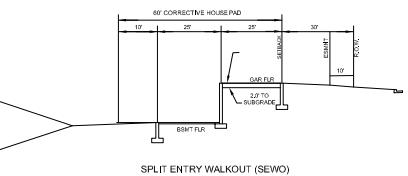
ON-SITE BMPS

1. NURP POND - NURP POND WILL BE UTILIZED TO MEET OR EXCEED QUALITY AND RATE CONTROL REQUIREMENTS.
2. SKIMMERS - THE POND OUTLET STRUCTURE INCLUDES A SUBMERGED INLET PIPE TO ALLOW SKIMMING. (Utility Contractor)
3. RIP RAP - RIP RAP WILL BE UTILIZED AT ALL APRONS FOR ENERGY DISSIPATION AND PROVIDE SEDIMENT CONTROL. (Utility Contractor)
4. INLET PROTECTION - INLET PROTECTION WILL BE INSTALLED AND MAINTAINED IN ALL CATCH BASINS & RETENTION STRUCTURES. (MMCO's OR EQUAL) (Utility Contractor)
5. SLOPE STABILIZATION - SILT FENCE WILL BE INSTALLED ALONG DOWN GRADIENT GRADING LIMITS AND WOODFIBER BLANKET WILL BE UTILIZED ON ALL SLOPES 3:1 OR GREATER TO PROVIDE ADEQUATE SLOPE STABILIZATION. (Grading Contractor)
6. BIOROLLS - BIOROLLS WILL BE INSTALLED ALONG REAR YARD SWALES TO PREVENT SEDIMENT FROM REACHING THE NURP POND AND ULTIMATELY DOWNSTREAM WETLANDS (Grading Contractor)
7. INFILTRATION AREAS - INFILTRATION AREAS WILL BE UTILIZED TO REDUCE THE AMOUNT OF RUNOFF FROM THE INCREASED HARDSURFACE. (Grading Contractor)
8. STREET SWEEPING - STREET SWEEPING WILL BE DONE A MINIMUM OF ONCE PER WEEK OR AS NEEDED TO MINIMIZE DUST CONTROL AND VEHICLE TRACKING. (Grading and Utility Contractor)
9. PHOSPHOROUS FREE FERTILIZER - PHOSPHOROUS FREE FERTILIZER WILL ALSO BE USED ON SITE.
10. ALL CONCRETE WASHOUT WASTE PRODUCED SHALL BE REMOVED FROM THE SITE. (Utility Contractor)
11. ADDITIONAL BMP'S SHALL BE INSTALLED AROUND ALL WETLANDS WHERE GRADING IS TO OCCUR WITHIN 50FT. SUCH BMP'S INCLUDE DOZER CUT DITCH.

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR	222	258
MAJOR CONTOUR	222	250
LOT LINE	—	—
BUILDING SETBACK LINE	BSBL	BSBL
GARAGE SETBACK LINE	GSBL	GSBL
PARCEL BOUNDARY LINE	—	—
DRAINAGE AND UTILITY EASEMENTS	—	—
CURB AND GUTTER	—	—
RIGHT-OF-WAY	—	—
BACKYARD CATCH BASIN	—	—
CATCH BASIN	—	—
STORM SEWER MANHOLE	—	—
FLARED END SECTION WRAP-UP/RAP	—	—
SANITARY SEWER MANHOLE	—	—
HYDRANT	—	—
GATE VALVE	—	—
DRAIN FLOW/NUF ARROW	→	→
EMERGENCY OVERFLOW SWALE	—	—
SILT FENCE-PRE CONSTRUCTION	—	—
SILT FENCE-POST CONSTRUCTION	—	—
SPOT ELEVATION	x 960.0	x 960.0
TBC SPOT ELEVATION	x 960.0	x 960.0



ROW HOME PADS
1.5' Hold down to subgrade
1.0' Hold down to top of topsoil



NOTES:

1. GRADE (999.0) BEHIND EACH HOMESITE IS THE LOW GROUND ELEVATION AND PROPOSED TOP OF TOPSOIL. SUBGRADE SHALL BE DOWN 0.50 FEET.
2. ESTABLISH FINISH GRADE AT ALL 10' FRONT YARD UTILITY EASEMENT LOCATIONS.
3. THESE DETAILS REFERENCE A 8" Poured FOUNDATION WALL, AND A 0.8" DROP FROM REAR TOP FOUNDATION TO GROUND ELEVATION FOR ALL LOOKOUTS AND WALKOUTS.

SCALE IN FEET

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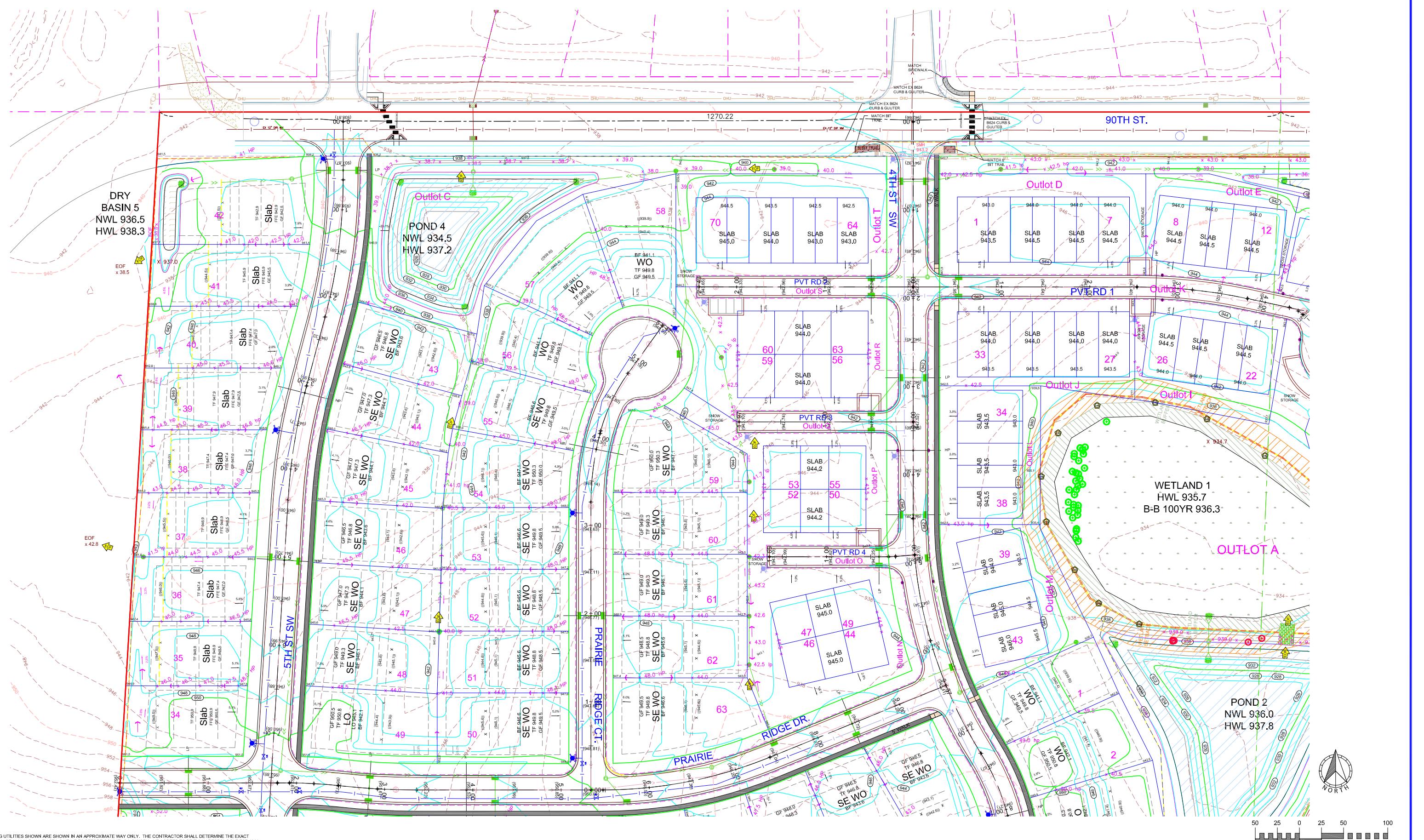


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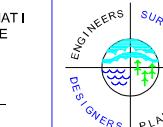
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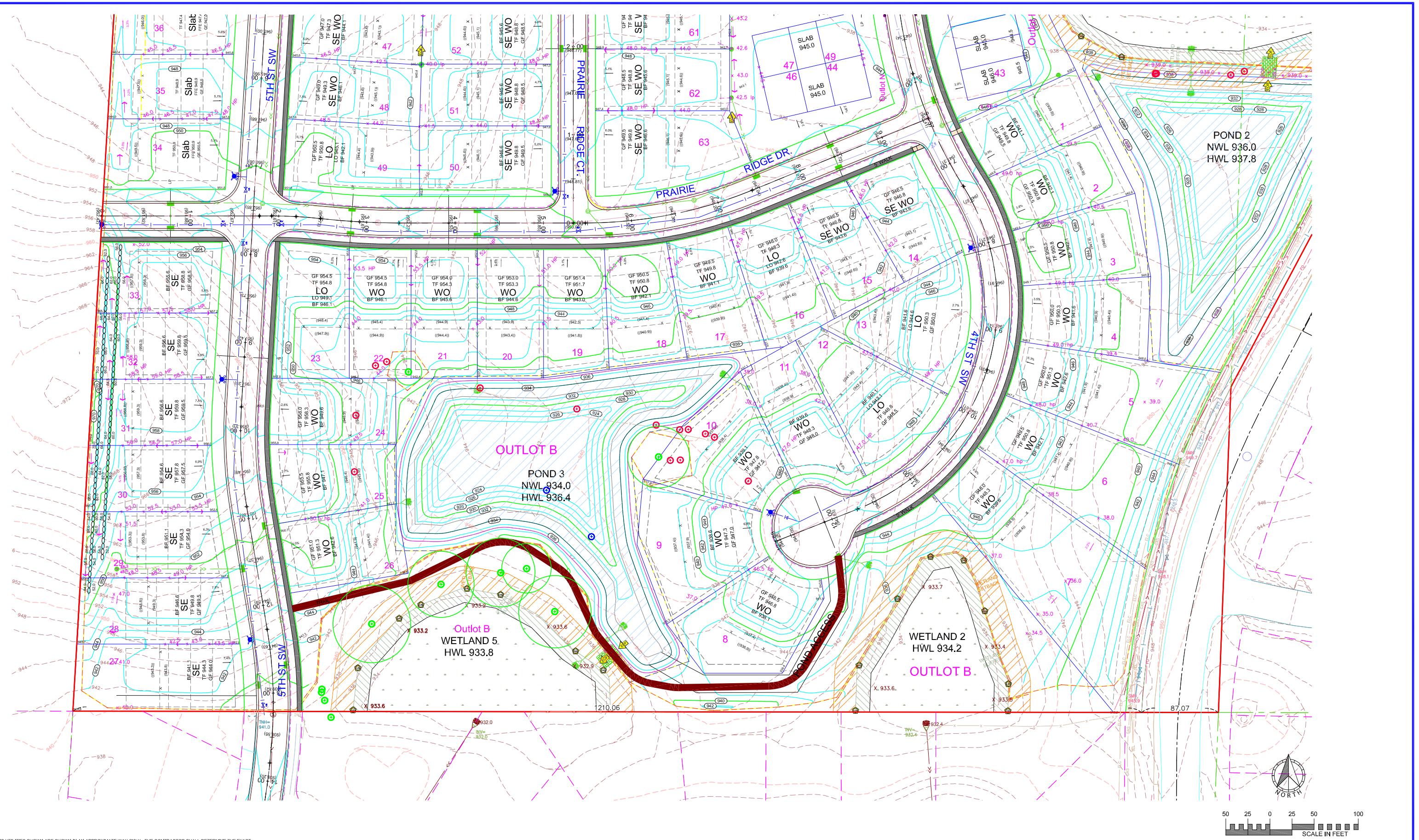
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SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

DELANO,
MINNESOTA



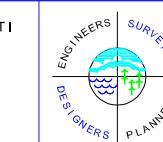
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02-11-25				

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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 07/11/25
Lic. No. 49180

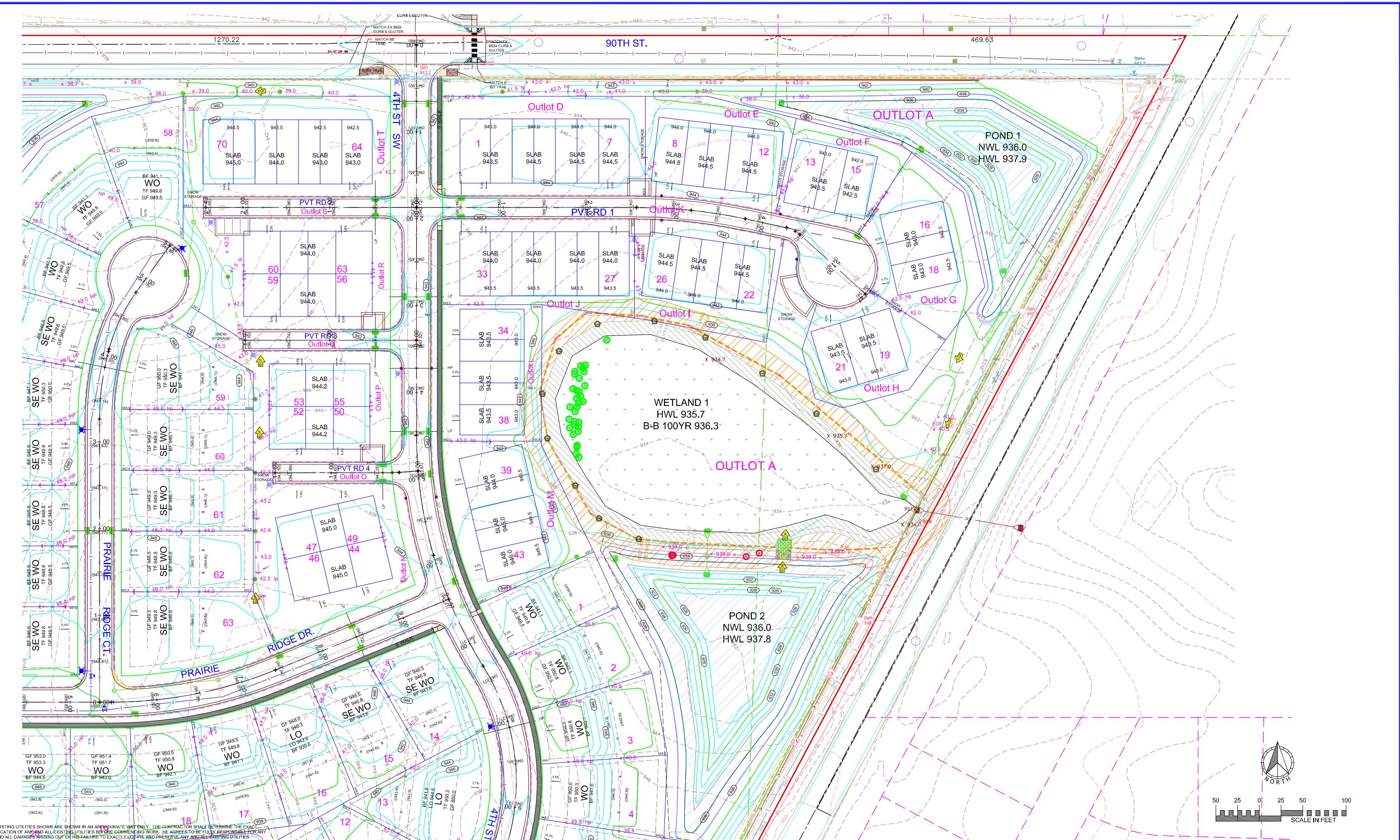


SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
DELANO,
MINNESOTA

PRELIMINARY GRADING PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
GP3
GP6



AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES				REVISIONS
DRAWING NAME	NO.	BY	DATE	
XXX	-	-	-	-
DRAWN BY				
CAW				
CHECKED BY				
DLS				
DATE				
02-11-25				

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Charles A. Wiemerslage
CHARLES A. WIEMERSLAGE, P.E.
Date: 02/11/25 Llc. No. 4



SATHRE-BERGQUIST, INC.

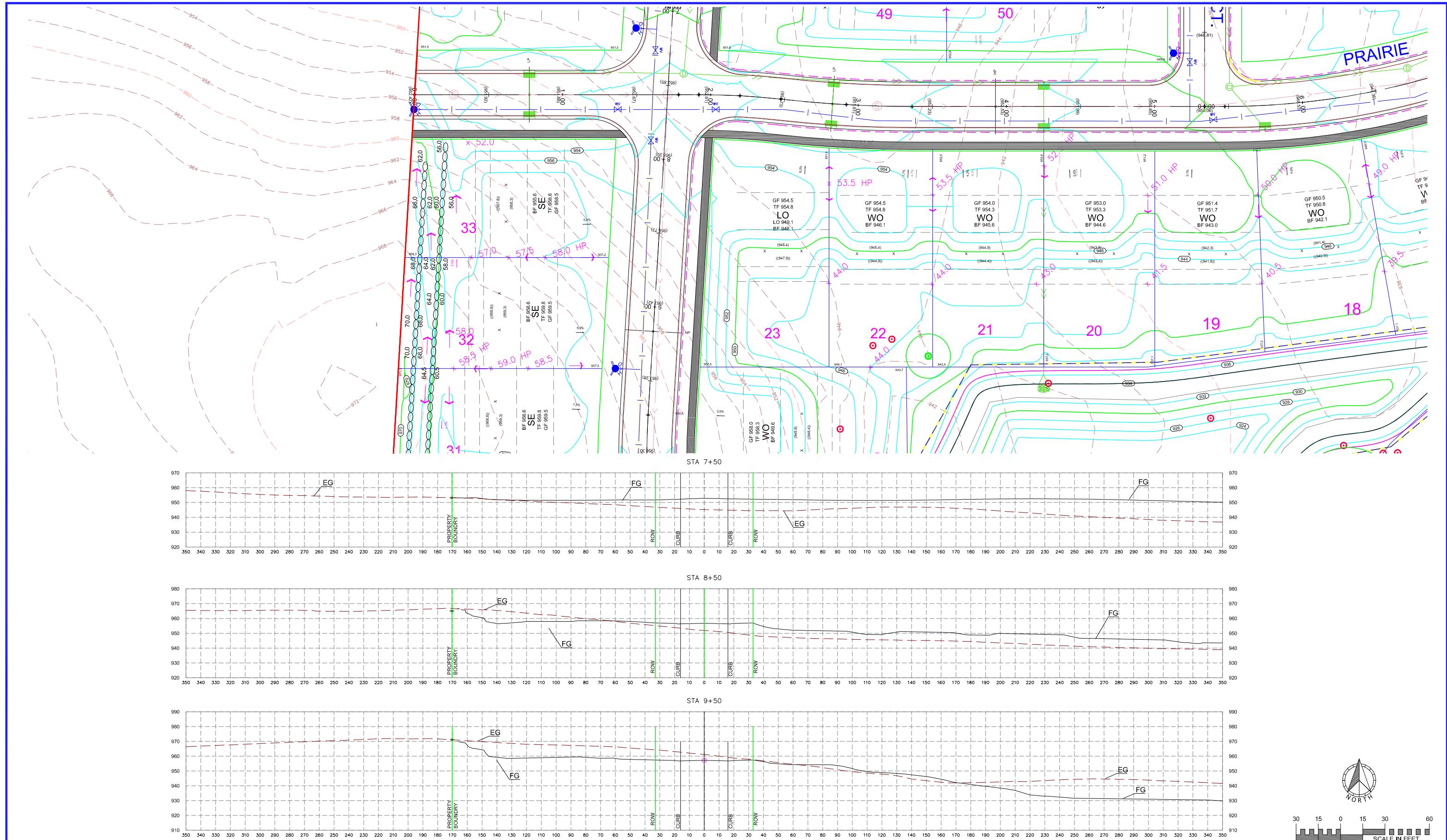
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

PRELIMINARY GRADING PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406

GP44

GP6



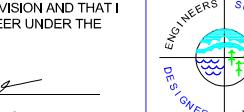
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Date: 07/11/25

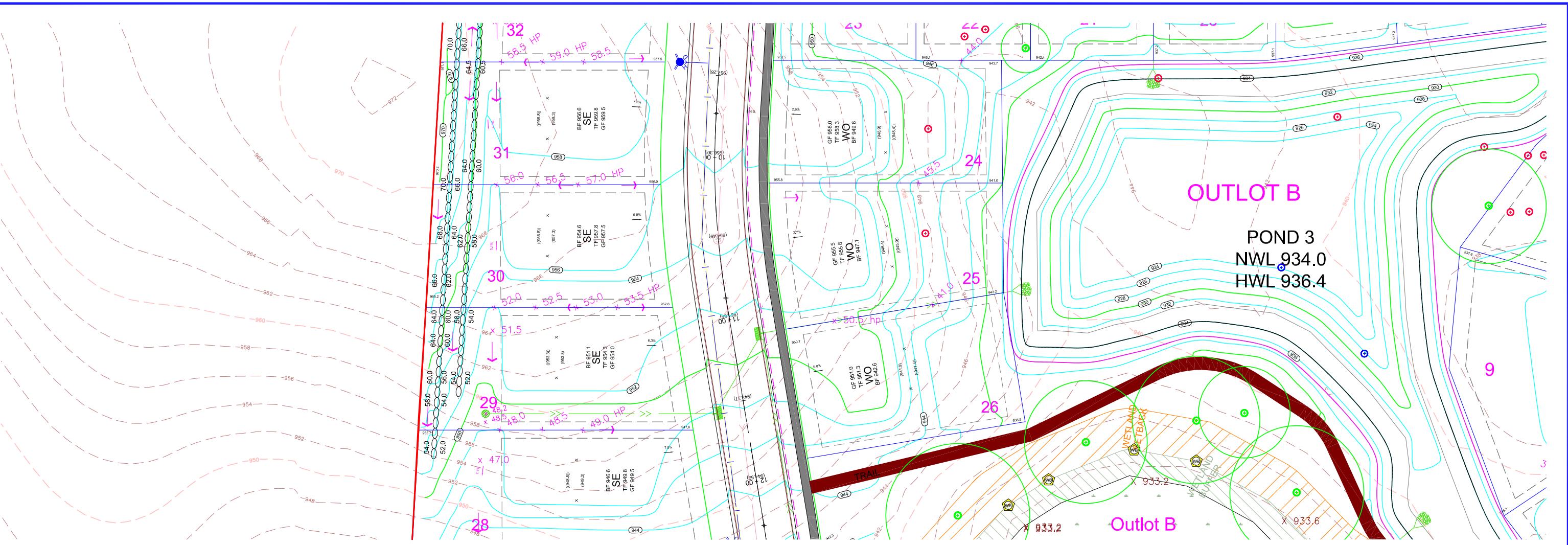


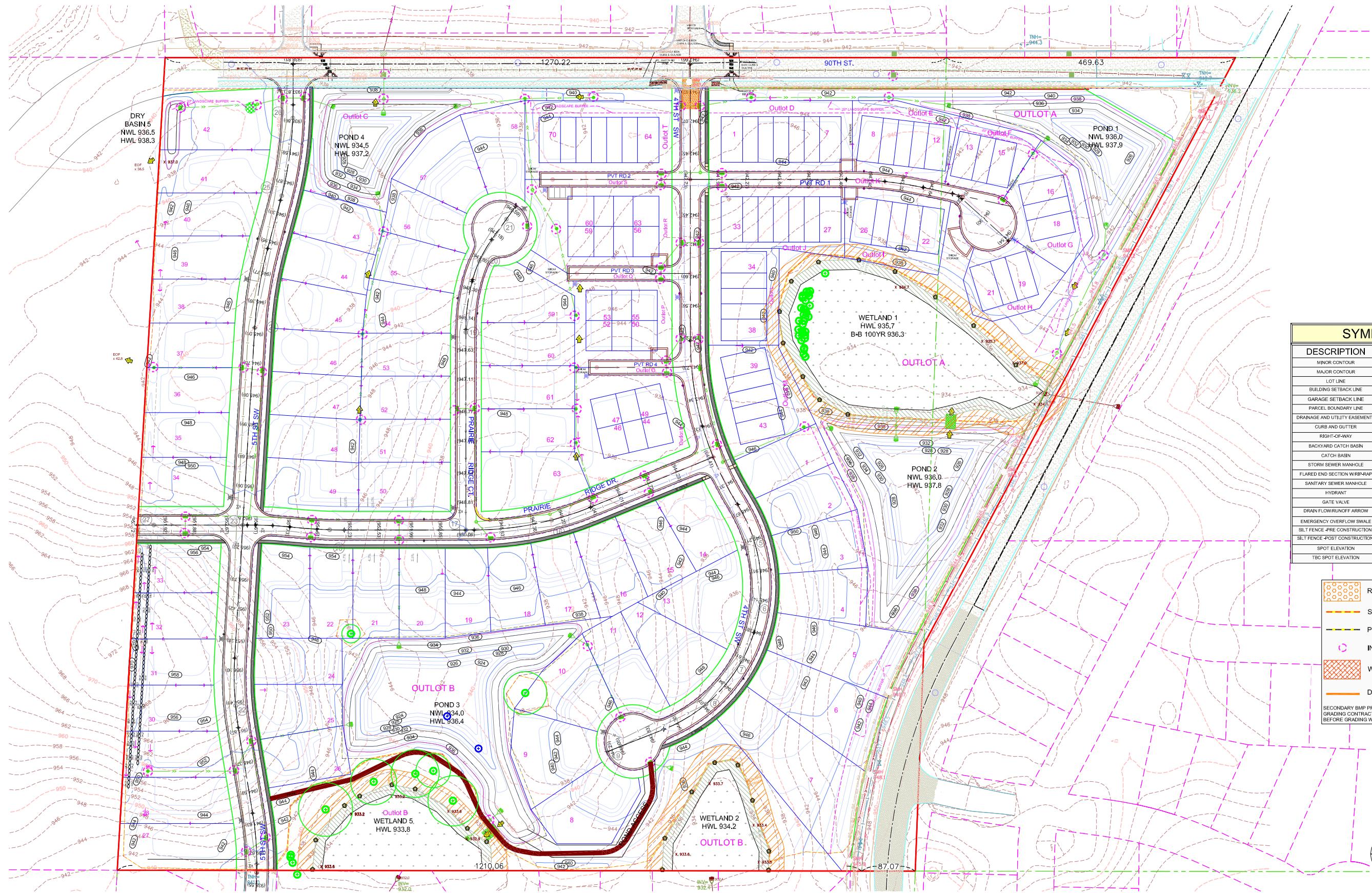
SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
DELANO,
MINNESOTA

PRELIMINARY GRADING PLANS - CROSS SECTIONS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
GP5
GP6





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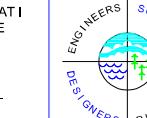
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DLS				
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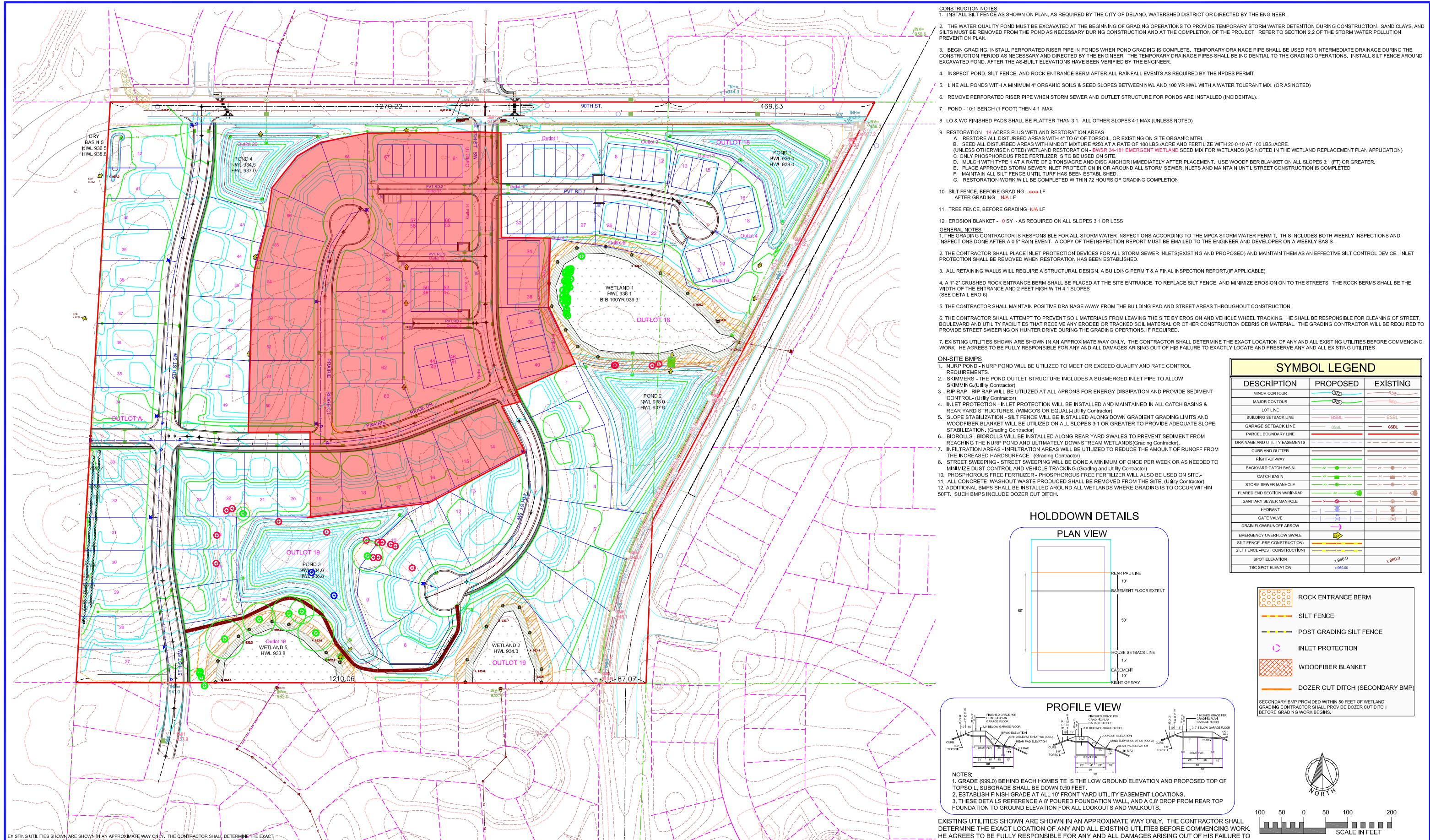
SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000



CITY PROJECT NO.
--
DELANO,
MINNESOTA

PRELIMINARY EROSION CONTROL PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
43688-406
EC
EC

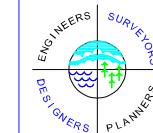


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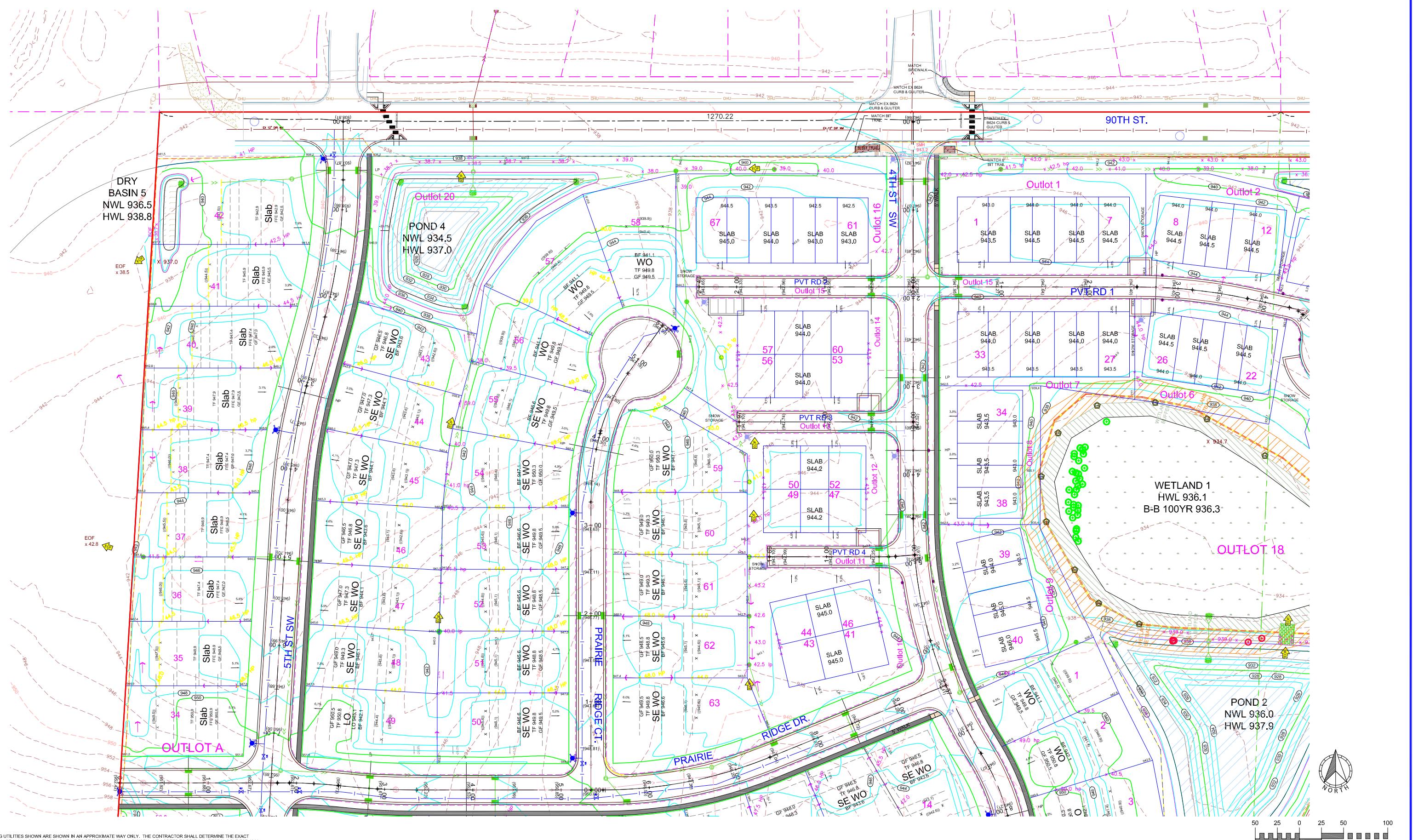


SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
DELANO,
MINNESOTA

PRELIMINARY GRADING PLAN
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
XXXX-XX
GPP
X



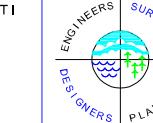
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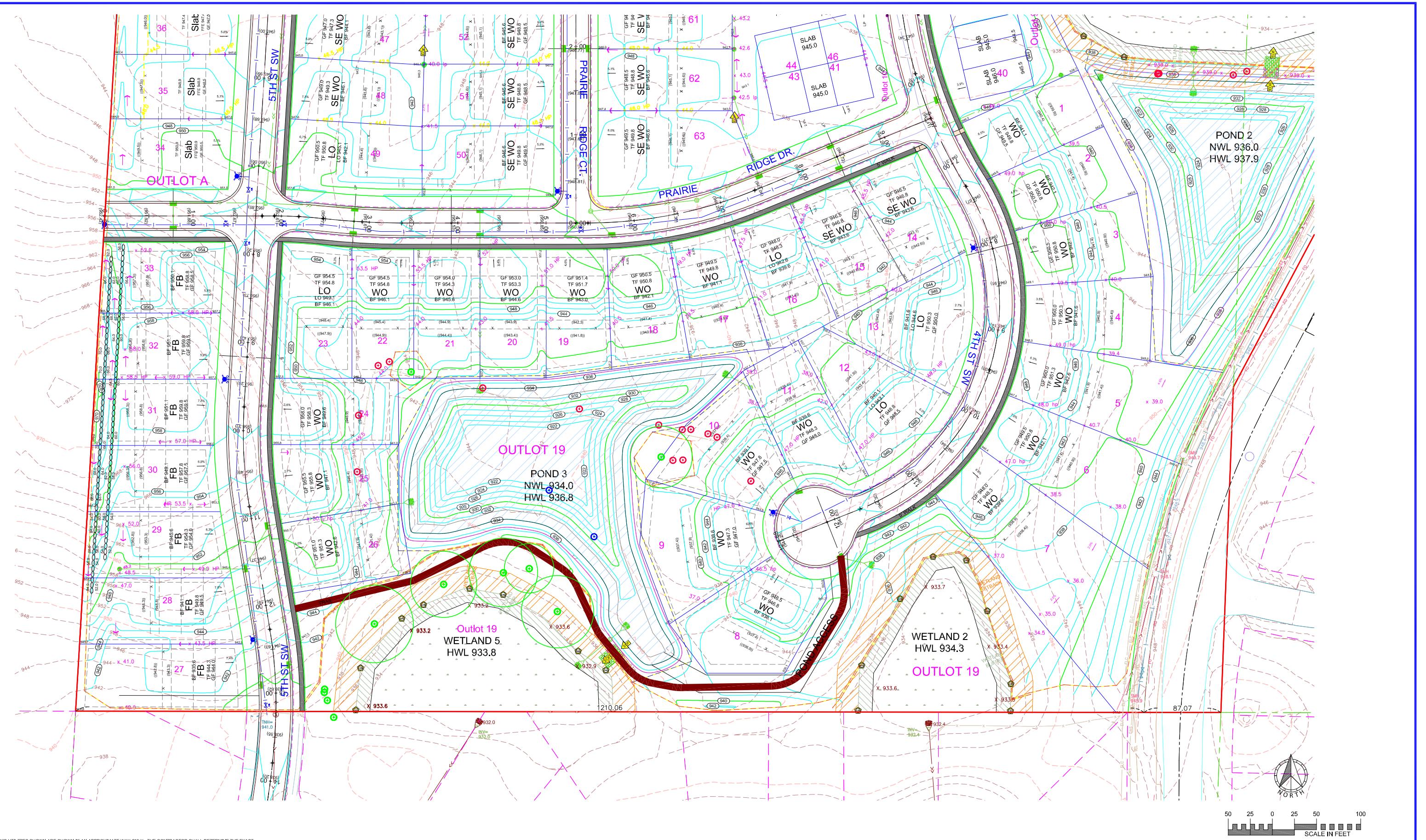
CITY PROJECT NO.
--
DELANO,
MINNESOTA

PRELIMINARY GRADING PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
XXXX-XX
GP2P
X

50 25 0 25 50 100
SCALE IN FEET





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CHARLES A. WIEMERSLAGE, P.E.
Date: _____ Llc. No. _____



SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

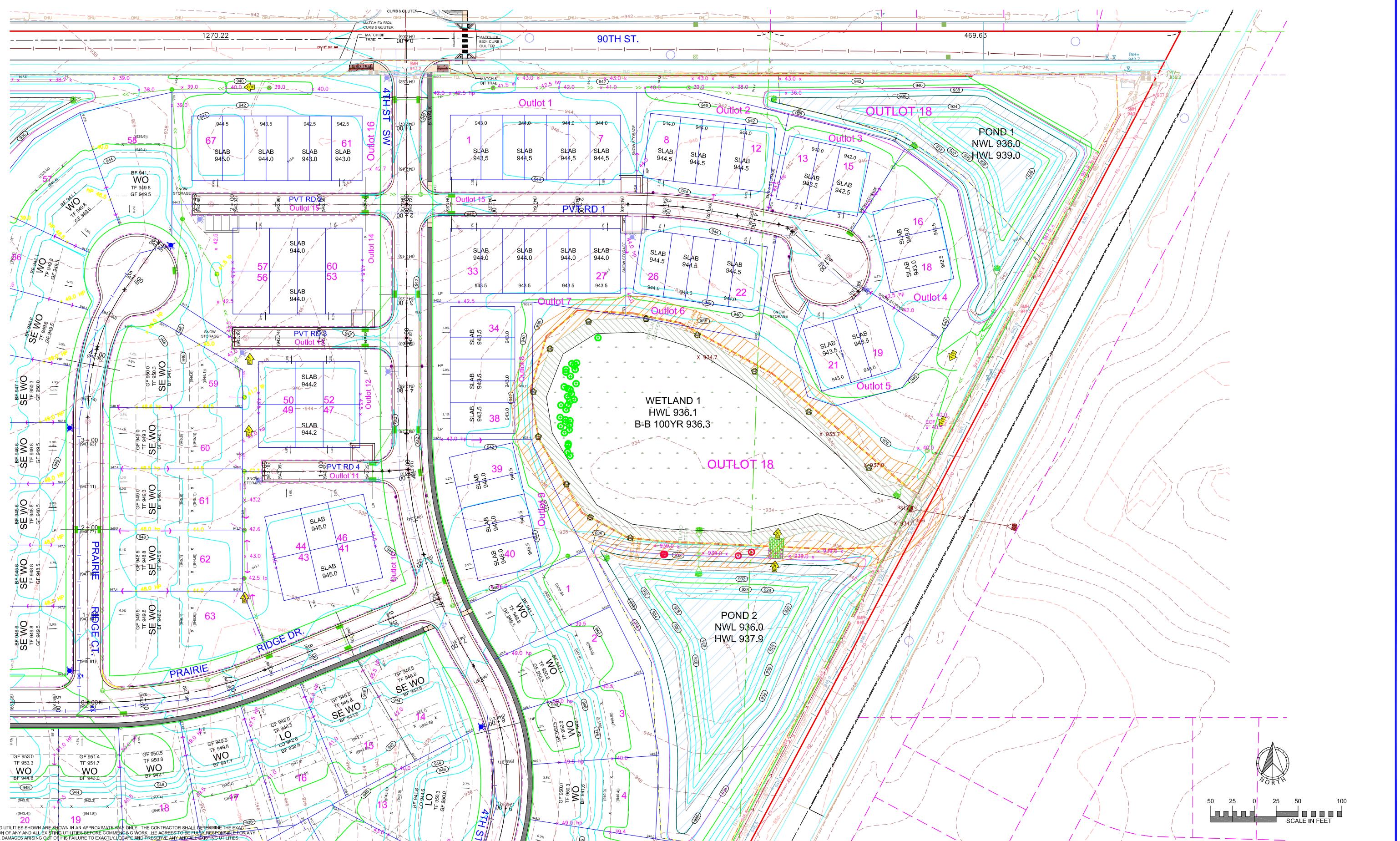
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
**DELAZO,
MINNESOTA**

PRELIMINARY GRADING PLANS
PRAIRIE RIDGE
JP BROOKS INC.

FILE NO.
XXXX-XX

GP GP
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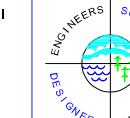
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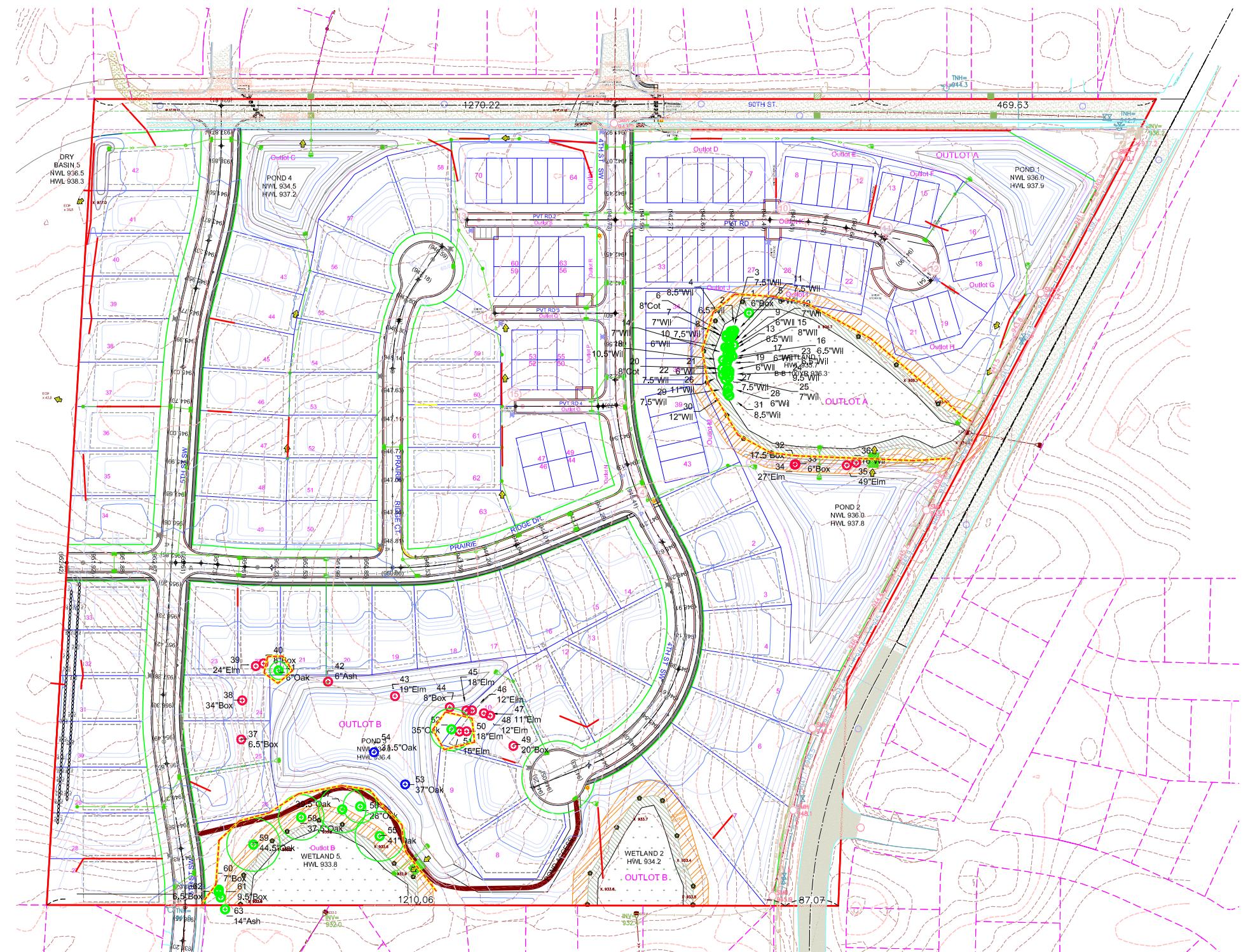
SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO. --
DELANO,
MINNESOTA

FILE NO.
XXXX-XX
Preliminary Grading Plans
PRAIRIE RIDGE
JP BROOKS INC.

GP4P
X

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
BUILDING SETBACK LINE		
GARAGE SETBACK LINE		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRAP-UP		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SILT FENCE-PRE CONSTRUCTION		
SILT FENCE-POST CONSTRUCTION		
SPOT ELEVATION		
TBC SPOT ELEVATION		



TREE PROTECTION FENCE -
HEAVY DUTY SILT FENCE OR
DUAL ROW



100 50 0 50 100 200
SCALE IN FEET

TREE SAVED

TREE REMOVED

SIGNIFICANT TREE REMOVED

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CHECKED BY				
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02-11-25				

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Lic. No. 49180



SATHRE-BERGQUIST, INC.
14000 25TH AVE N #120 PLYMOUTH, MN. 55447 (952) 476-6000

CITY PROJECT NO.
--
DELANO,
MINNESOTA

Tree #	Removed significant	Removed	Saved	Type
1			6 Box	
2			6.5 Wil	
3			7.5 Wil	
4			8.5 Wil	
5			6 Wil	
6			8 Cot	
7			7 Wil	
8			7.5 Wil	
9			6 Wil	
10			6 Wil	
11			7.5 Wil	
12			7 Wil	
13			6.5 Wil	
14			7 Wil	
15			8 Wil	
16			6.5 Wil	
17			6 Wil	
18			10.5 Wil	
19			6 Wil	
20			8 Cot	
21			6 Wil	
22			7.5 Wil	
23			6.5 Wil	
24			9.5 Wil	
25			7 Wil	
26			11 Wil	
27			7.5 Wil	
28			6 Wil	
29			7.5 Wil	
30			12 Wil	
31			8.5 Wil	
32	17.5		Box	
33	6		Box	
34	27		Elm	
35	49		Elm	
36	16		Wil	
37	6.5		Box	
38	34		Box	
39	24		Elm	
40	8		Box	
41	6		Oak	
42	6		Ash	
43	19		Elm	
44	8		Box	
45	18		Elm	
46	12		Elm	
47	11		Elm	
48	12		Elm	
49	20		Box	
50	18		Elm	
51	15		Elm	
52	35		Oak	
53	37		Oak	
54	31.5		Oak	
55	41		Oak	
56	28		Oak	
57	39.5		Oak	
58	37.5		Oak	
59	44.5		Oak	
60	7		Box	
61	9.5		Box	
62	6.5		Box	
63	14		Ash	

Removed significant	Removed	Saved	Total
Total (in) Trees	68.5 2	327 19	499.5 42

PRELIMINARY TREE PLAN	FILE NO.
PRAIRIE RIDGE JP BROOKS INC.	43688-406

TS
TS



SITE CONTEXT

LEGEND



NO SCALE

DRAWN BY
MK
CHECKED BY
KN
ORIGINAL DATE
2/5/2025
REISSUED

REVISIONS

NO. BY DATE

COMMENTS

© THIS PLAN SET AND THE CONCEPTS REPRESENTED
HEREIN ARE THE PROPERTY OF
KLEIN-NORBY LANDSCAPE & SITE DESIGN.
CHANGES TO OR USE OF THIS PLAN SHALL
REQUIRE PRIOR WRITTEN APPROVAL BY
KLEIN-NORBY LANDSCAPE & SITE DESIGN
PRELIMINARY AND
NOT FOR CONSTRUCTION
Date _____
Registration # _____

KLEIN-NORBY
LANDSCAPE & SITE DESIGN
www.norbylandscape.com
mklein@norbylandscape.com
763.257.6210

PROJECT #
DELANO
MN

PRELIMINARY LANDSCAPE PLAN
PRAIRIE RIDGE
JP BROOKS BUILDERS

FILE #
L1
5

TREE PROTECTION NOTES:

ALTHOUGH DESIGNATED FOR REMOVAL EFFORT SHALL BE GIVEN TO
SAVE TREES 34, 35, 39, 50 & 51 DURING CONSTRUCTION.

GRADING SHALL NOT BE ALLOWED WITHIN BOUNDARIES OF TREE ROOT
ZONE FOR SAVED TREES

TREE PROTECTION FENCE SHALL BE INSTALLED AFTER WALK THRU
WITH CITY PERSONNEL AND PRIOR TO MASS SITE GRADING

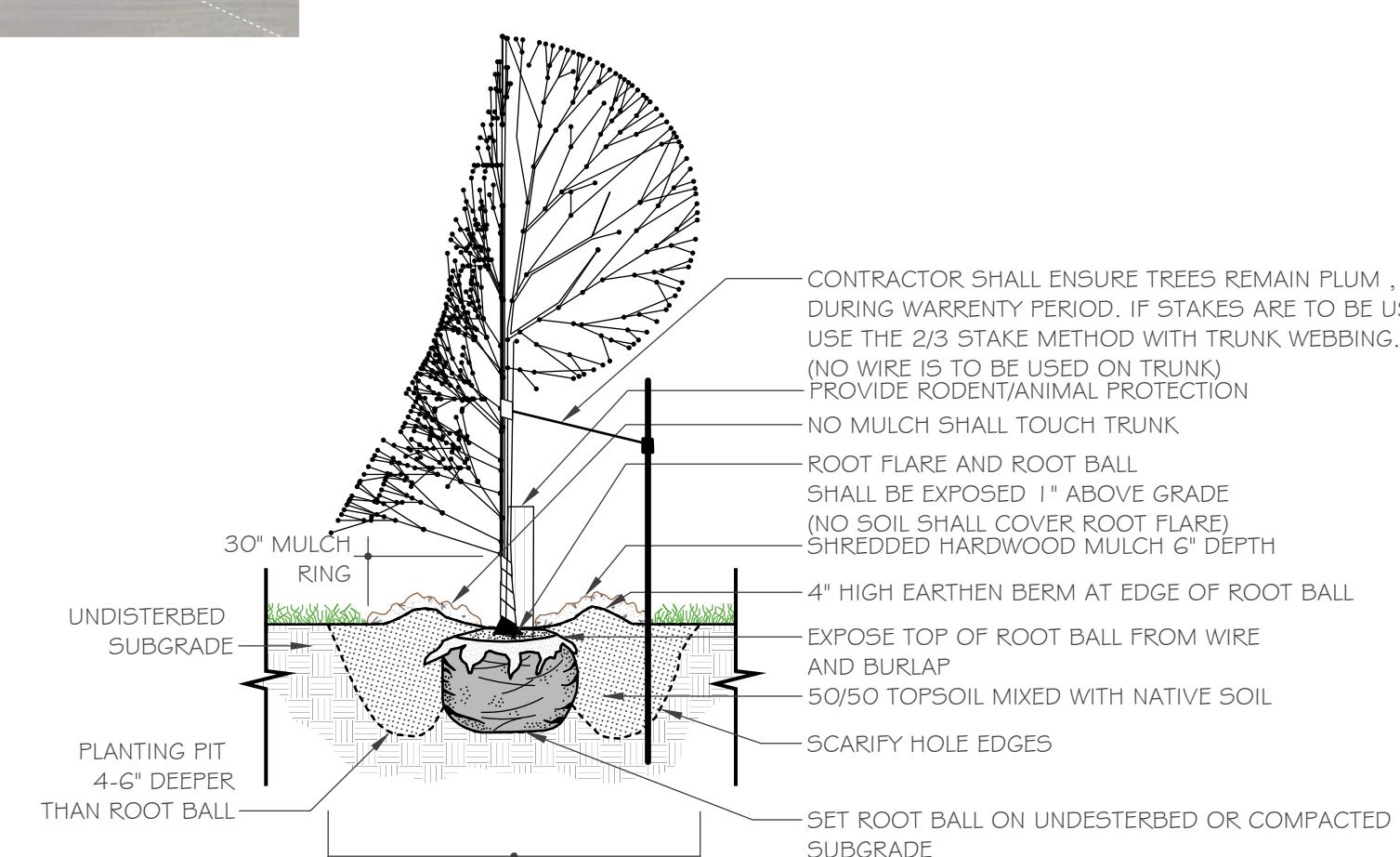
TREE PROTECTION FENCE SHALL BE
HEAVY DUTY SILT FENCE OR DUAL ROW INSTALLED AT ROOT ZONE
BOUNDARY AND SHALL REMAIN INPLACE THROUGHOUT GRADING &
UTILTY CONSTRUCTION.

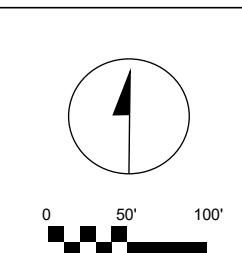
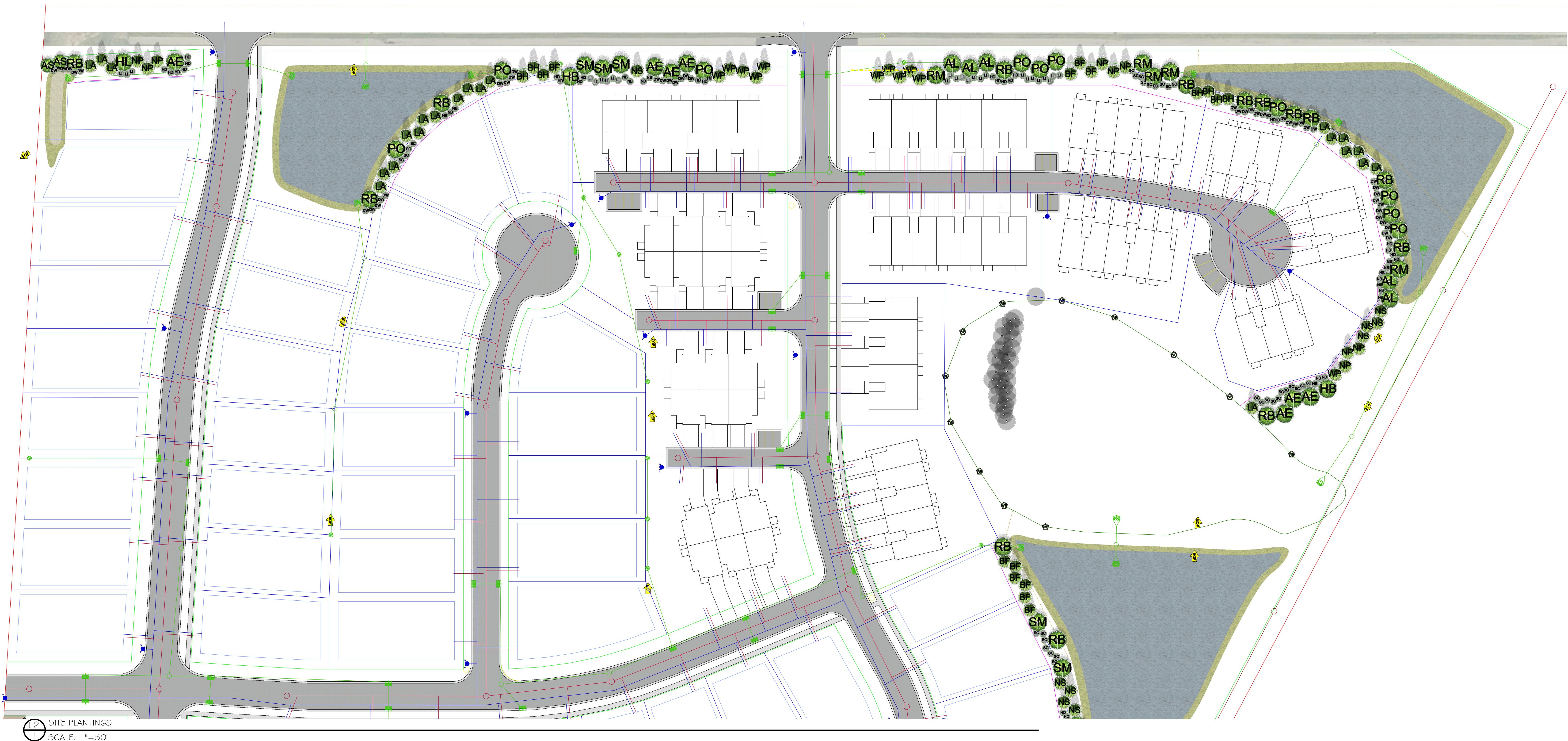
GENERAL LANDSCAPE NOTES:

- 1) THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- 2) THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- 4) THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURB/CUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 5) VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND Gopher STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- 6) THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- 7) THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- 8) THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- 9) THE SPECIFICATION TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- 10) EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- 11) LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- 12) CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- 1) TREES AND SHRUBS SHALL BE FRESHLY DUG AT TIME OF DELIVERY UNLESS CONTAINER GROWN, IF CONTAINER GROWN, PLANTS SHALL BE WATERED EVERYDAY AND KEPT IN A PARTIALLY SHADED AREA UNTIL PLANTED.
- 2) TREES TO BE PLANTED EXCEPT MULTI-STEM TREES SHALL HAVE A SINGLE STRAIGHT LEADER AND TAPERED TRUNK. ALL TREES SHALL BE FREE OF GIRDING ROOTS THAT HAVE ENCLOSED THE TREE, TREES MUST BE IN GOOD HEALTH AND FREE OF DISEASE.
- 3) ALL TREES SHALL HAVE A MINIMUM DEPTH OF 6" HARDWOOD BARK MULCH 6" DIAMETER RING AROUND THE BASE OF THE TREE. KEEP MULCH OFF TREE TRUNK.
- 4) THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED TO BE UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- 5) PLANTING HOLES SHALL BE FREE OF WEEDS, ROCKS, SOIL, CLAY CLUMPS, CLASS V AND OTHER CONSTRUCTION MATERIALS.
- 6) TOPSOIL FOR BACKFILLING PLANTING HOLES SHALL BE A MIXTURE OF NATIVE AND TOPSOIL AT A RATIO OF 1:1.
- 7) CONTRACTOR SHALL EXCAVATE 6" OF SOIL IN ALL LANDSCAPE BEDS, REPLACE WITH 8" OF UNSCREENED TOPSOIL, ENOUGH ESTABLISH A POSITIVE GRADE FROM STRUCTURES, FOUNDATIONS, PATIOS, ETC..
- 8) PLANTING BEDS PROPOSED WITH ROCK MULCH SHALL BE LAID OVER MIN. 6 MIL. BLACK POLY.
- 9) ALL VINYL EDGING TO BE STAKED 7' ON CENTER, HORIZONTALLY.
- 10) NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.





DRAWN BY
MK
CHECKED BY
KN
ORIGINAL DATE
2/5/2025
REISSUED

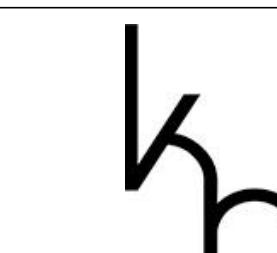
REVISIONS

NO. BY DATE

COMMENTS

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NOT FOR CONSTRUCTION

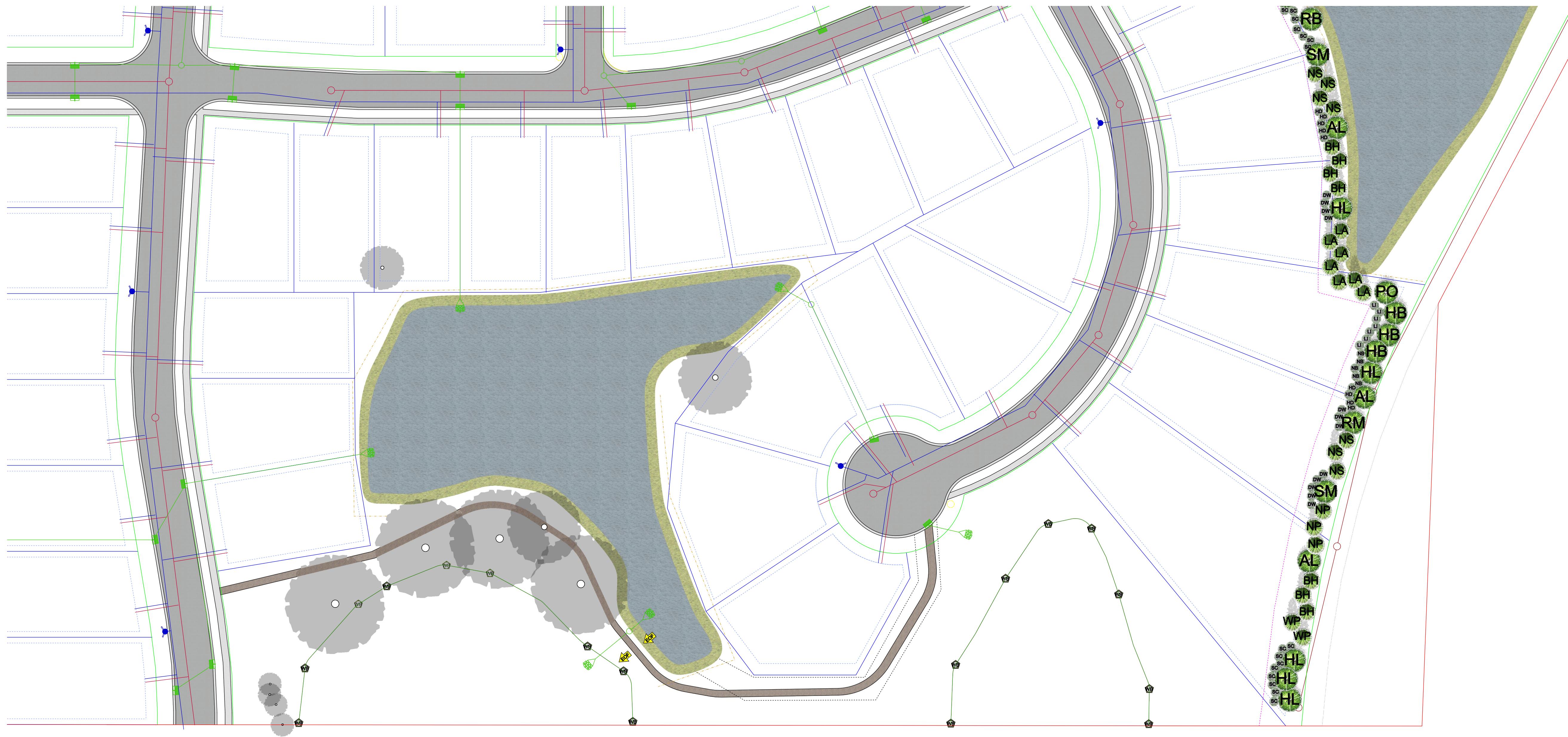


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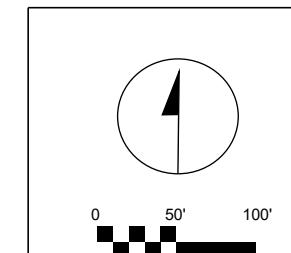
PROJECT #
DELANO
MN

PRELIMINARY LANDSCAPE PLAN
PRAIRIE RIDGE
JP BROOKS BUILDERS

FILE #
L2 5



L3 SITE PLANTINGS
SCALE: 1"=50'



DRAWN BY
MK
CHECKED BY
KN
ORIGINAL DATE
2/5/2025
REISSUED

REVISIONS
NO. BY DATE

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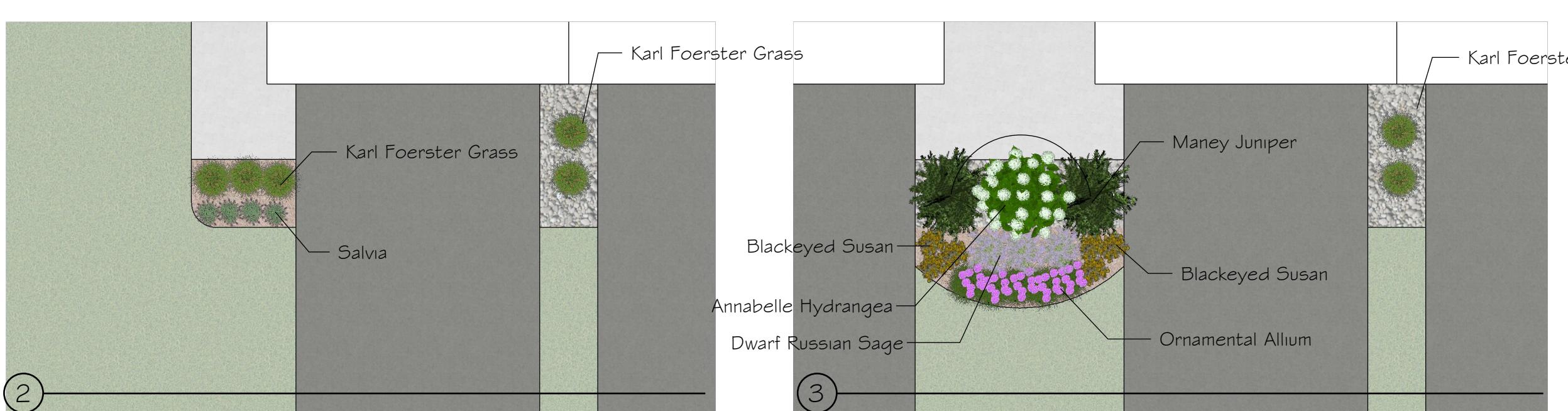
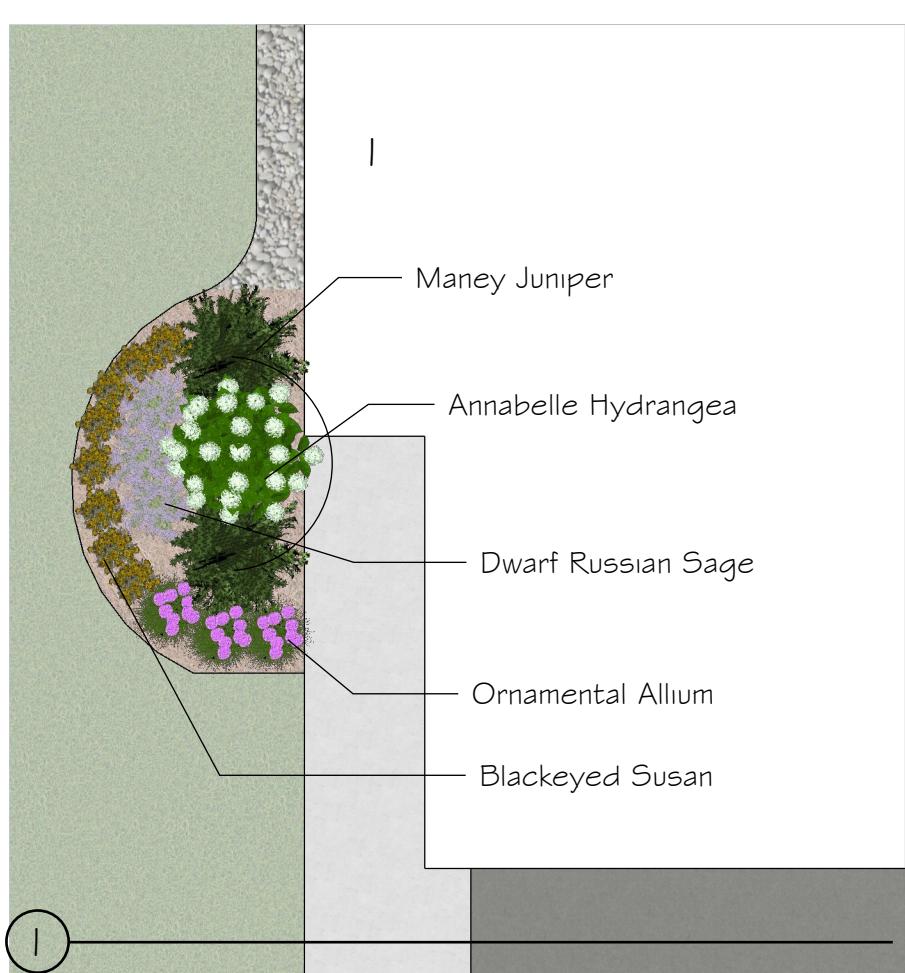
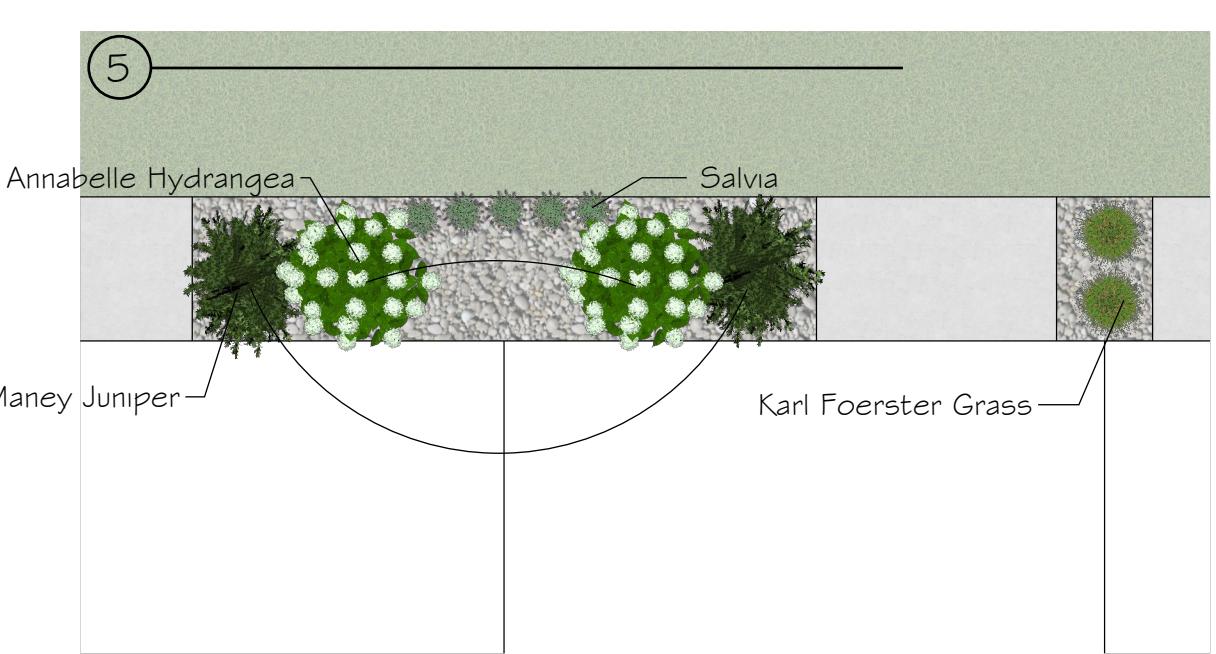
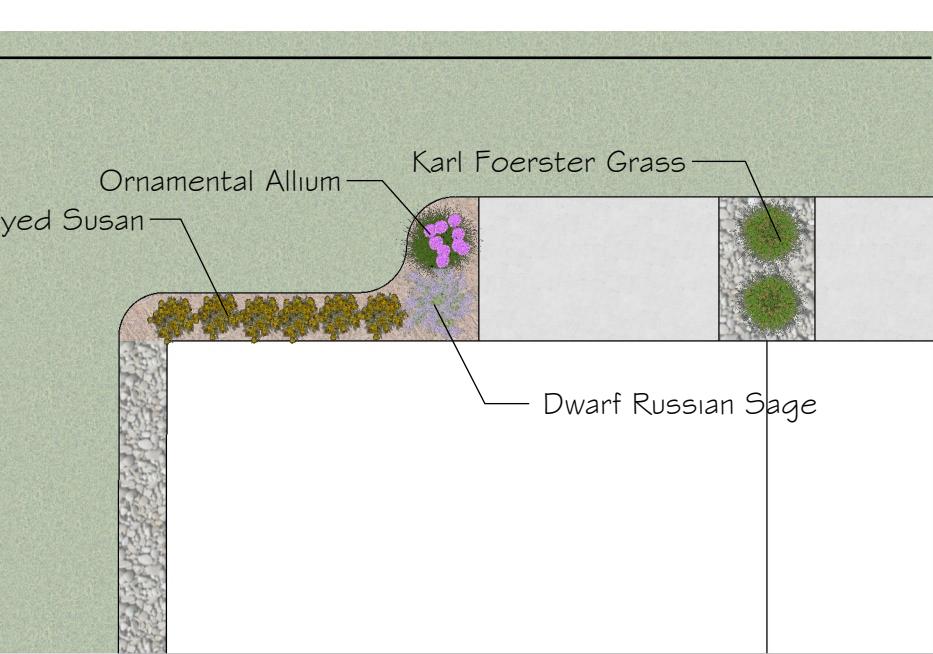
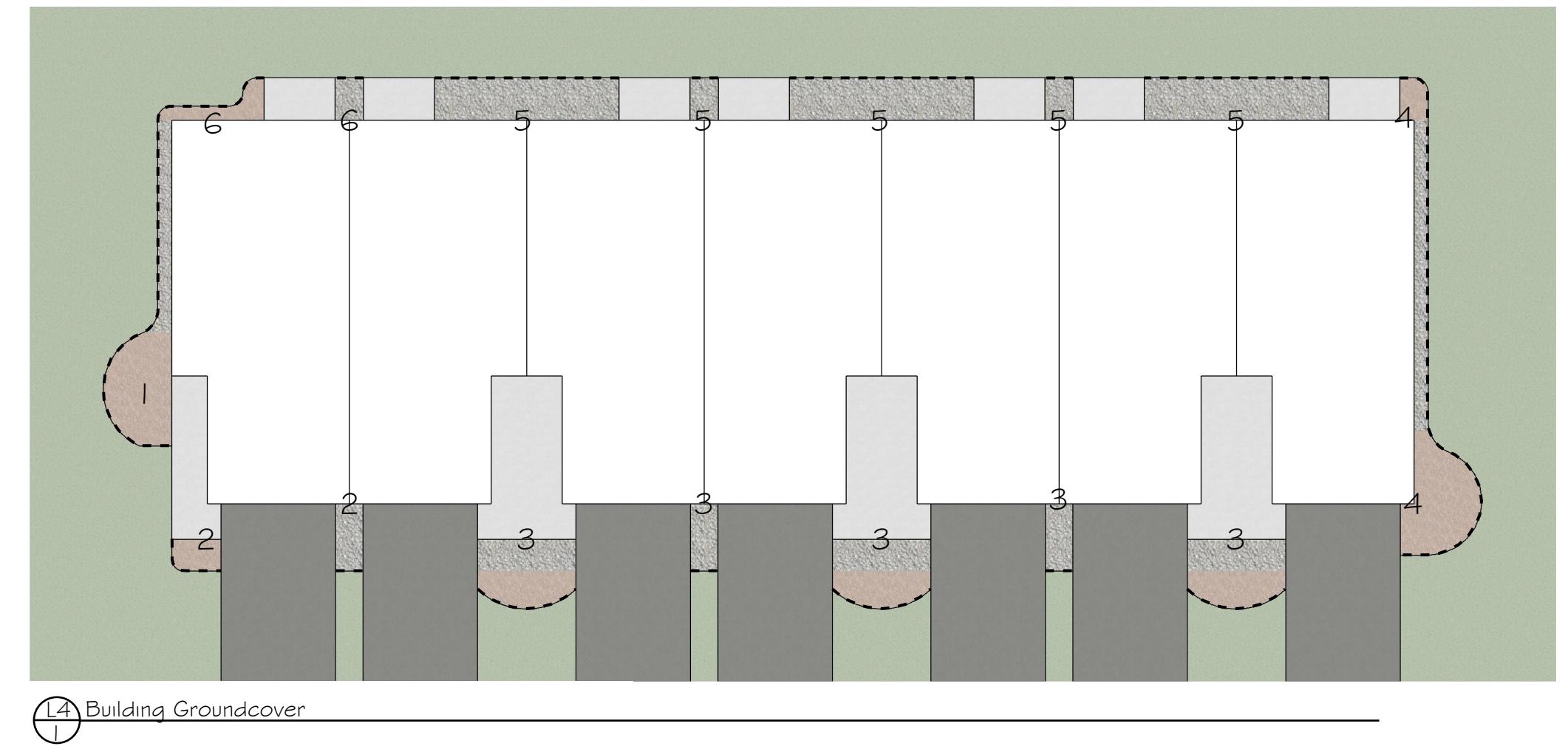
PRELIMINARY
FOR CONSTRUCTION
None
None
Registration #



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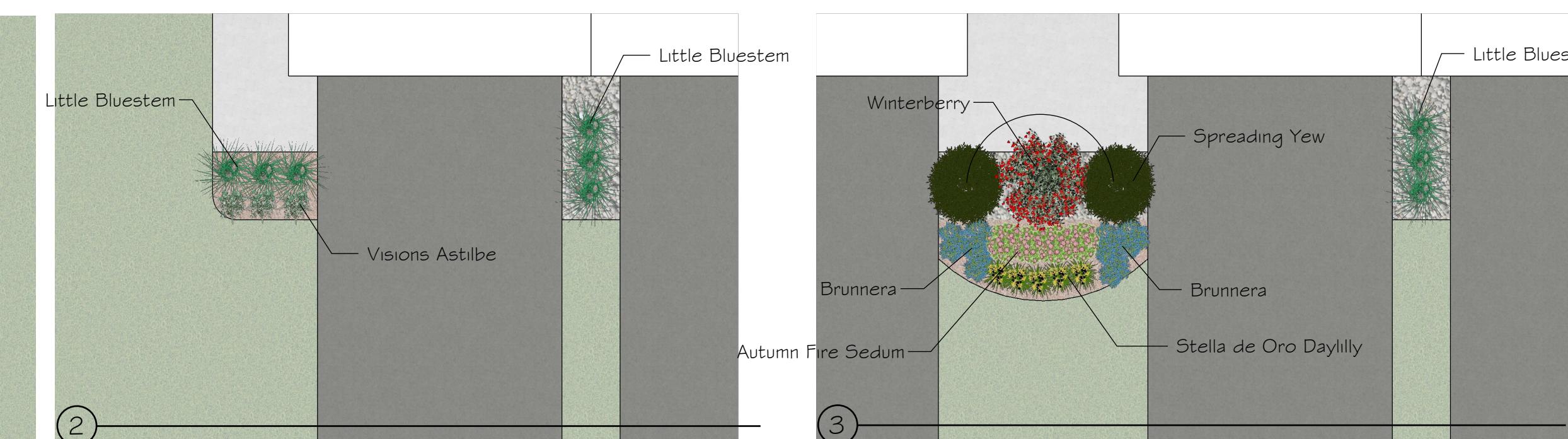
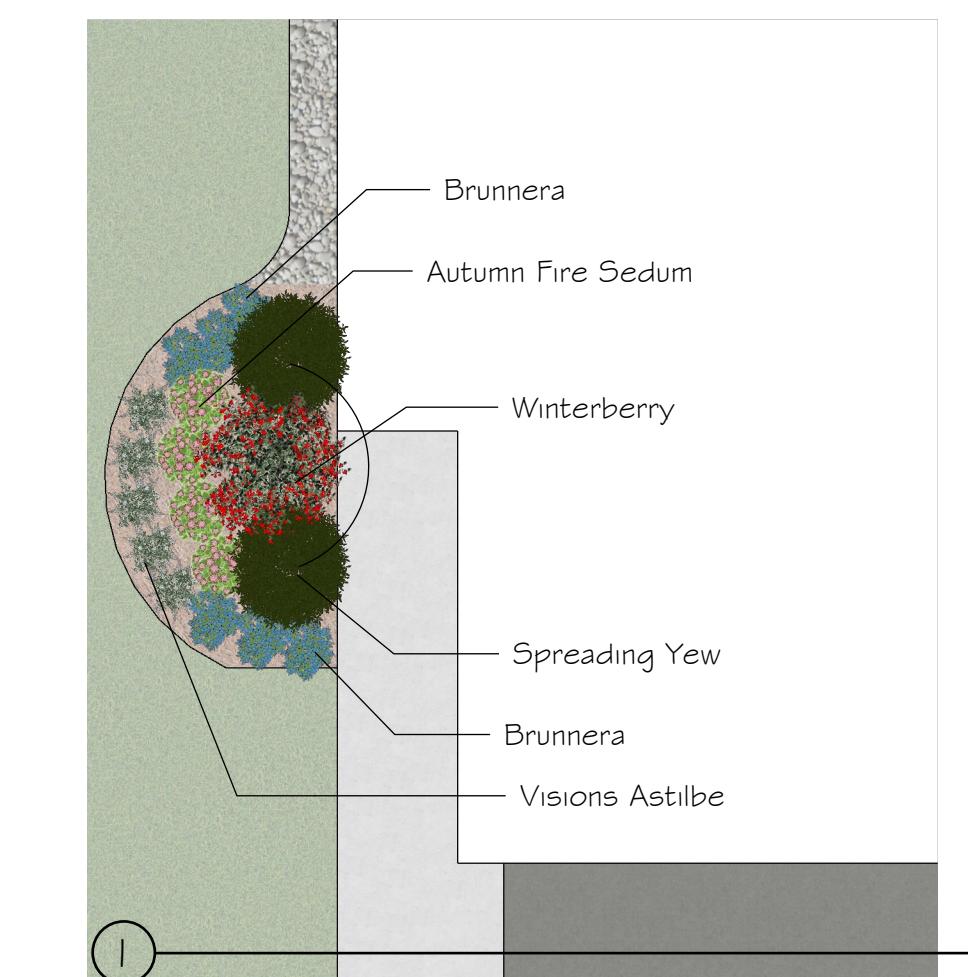
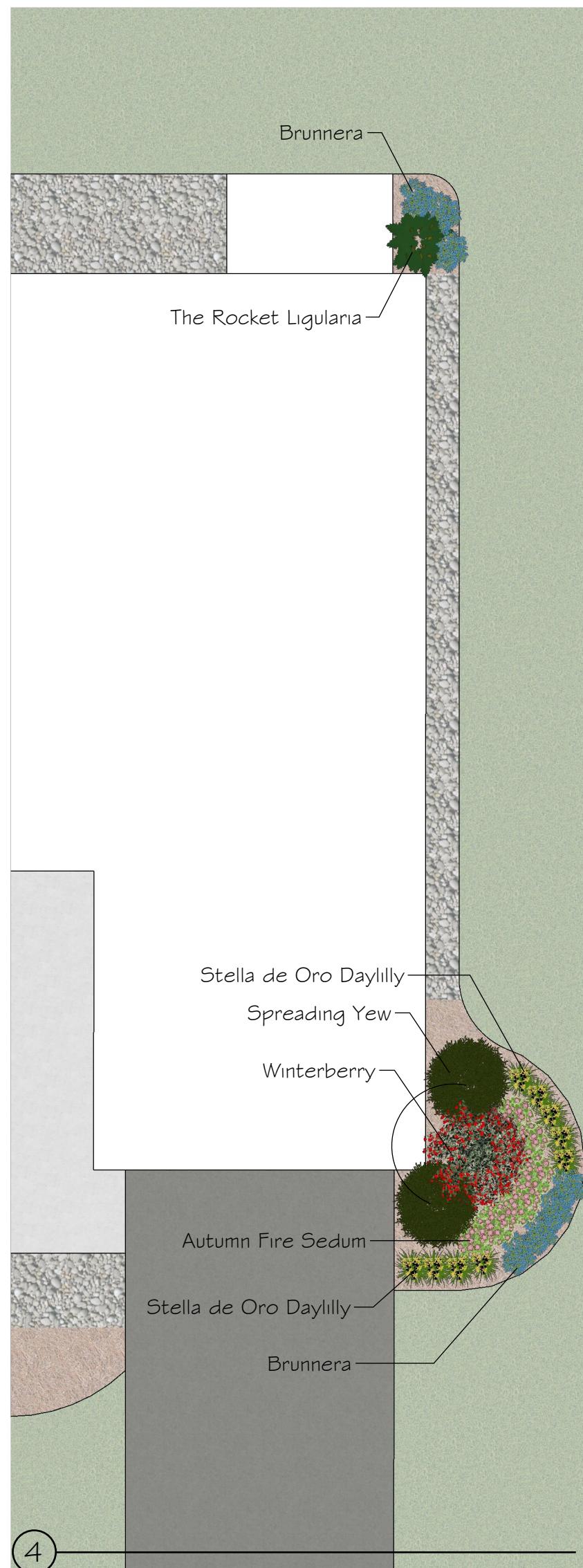
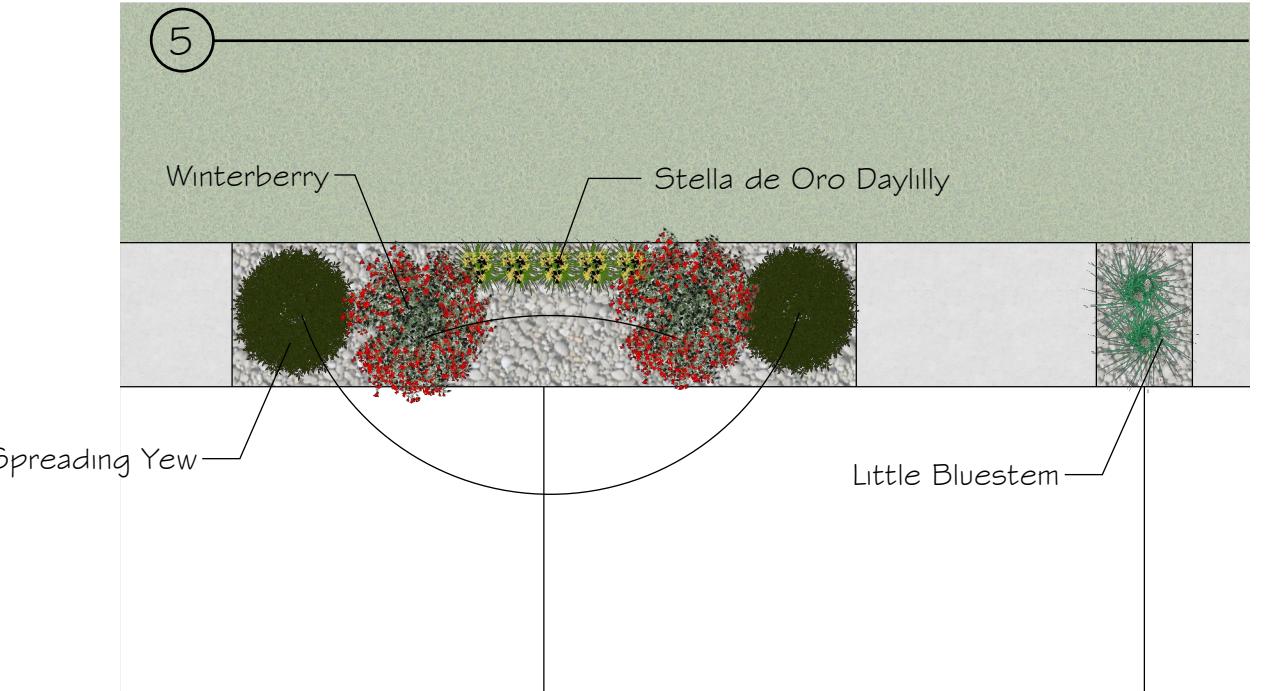
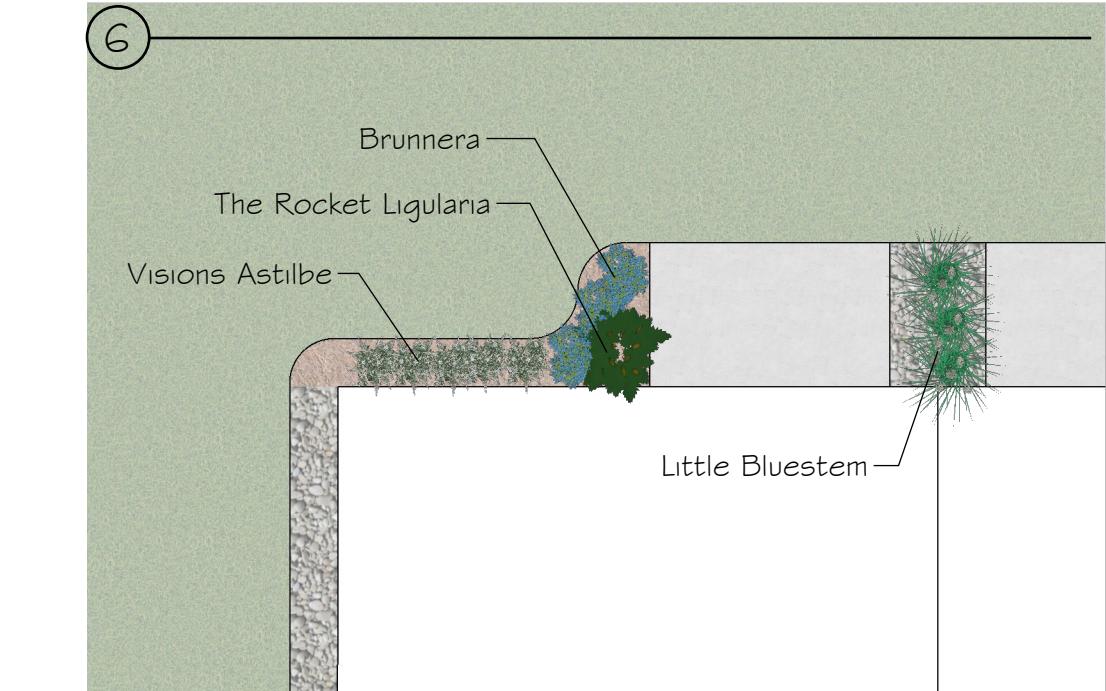
PROJECT #
DELANO
MN

FILE #
L3
5
PRELIMINARY LANDSCAPE PLAN
PRAIRIE RIDGE
JP BROOKS BUILDERS



14 South/East/ West Facing Plantings
(Sun Exposure)
PRELIMINARY AND NOT FOR CONSTRUCTION

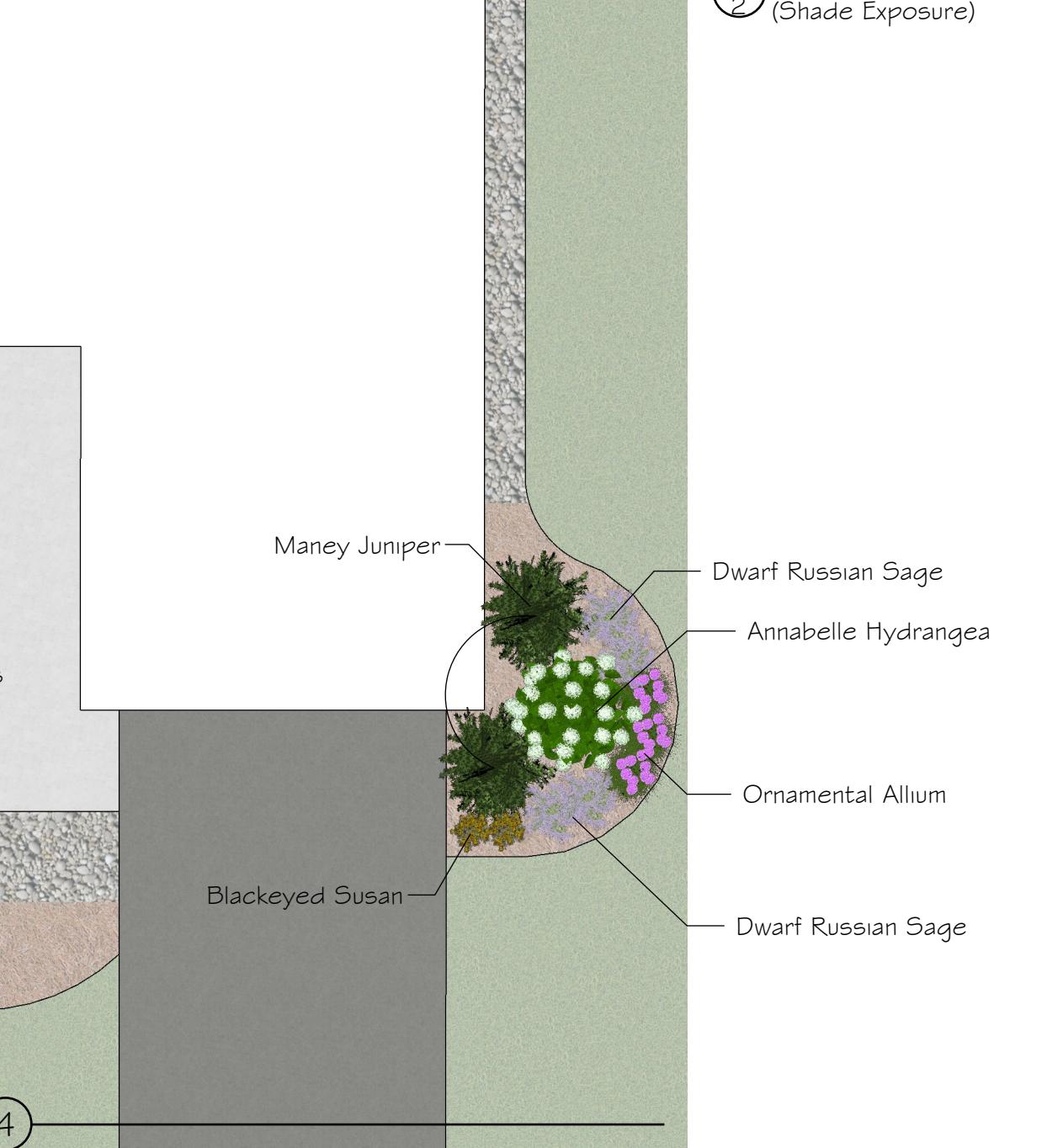
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NO.	BY	DATE	COMMENTS	REVISIONS	COMMENTS
1	MK CHECKED BY KN ORIGINAL DATE 2/5/2025 REISSUED				



14 North Facing Plantings
(Shade Exposure)

LEGEND

- Double Shredded Bark Mulch (Coco over fabric)
- River Rock Mulch (1.5" over fabric)
- Lawn
- - - Vinyl Edging



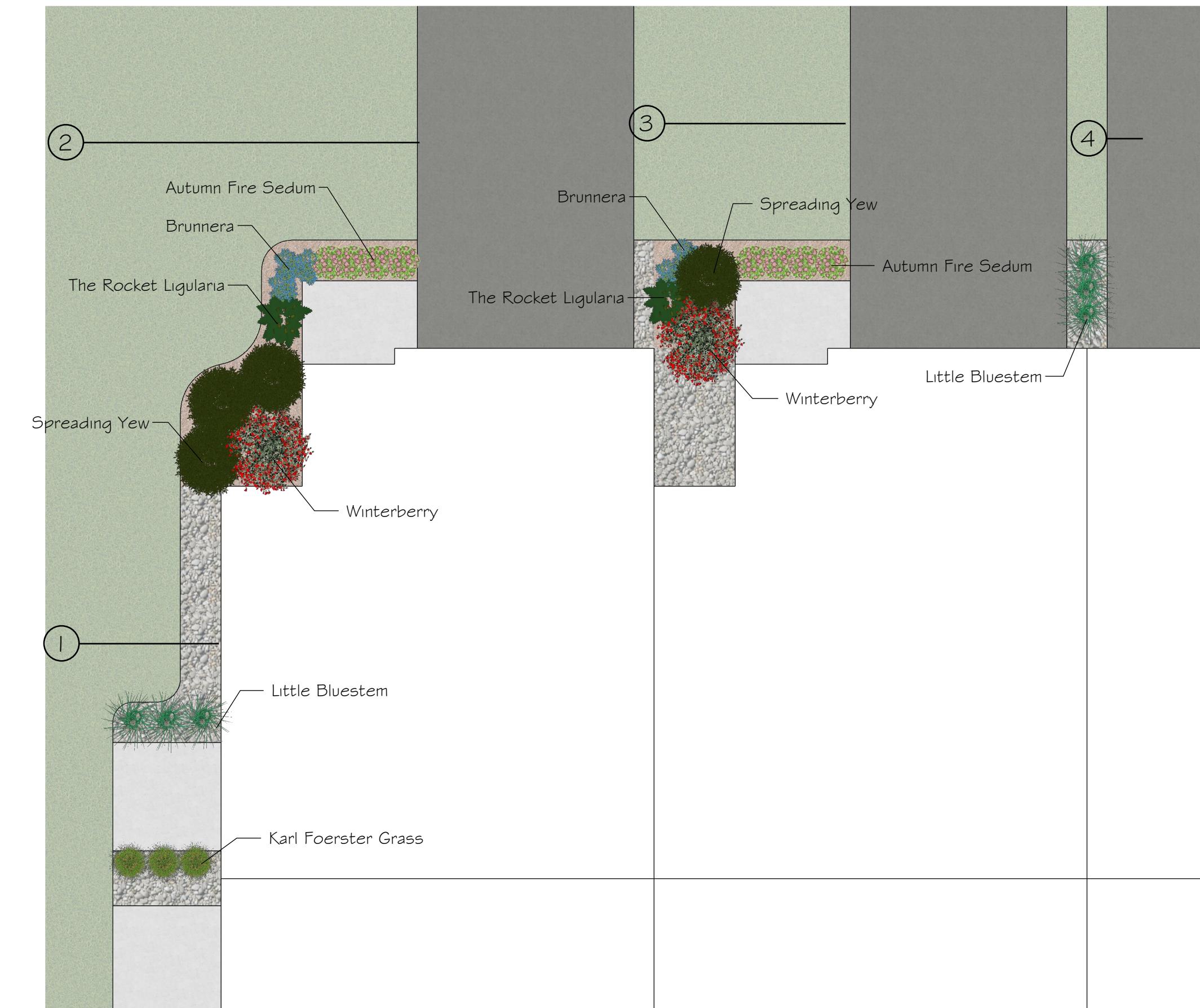
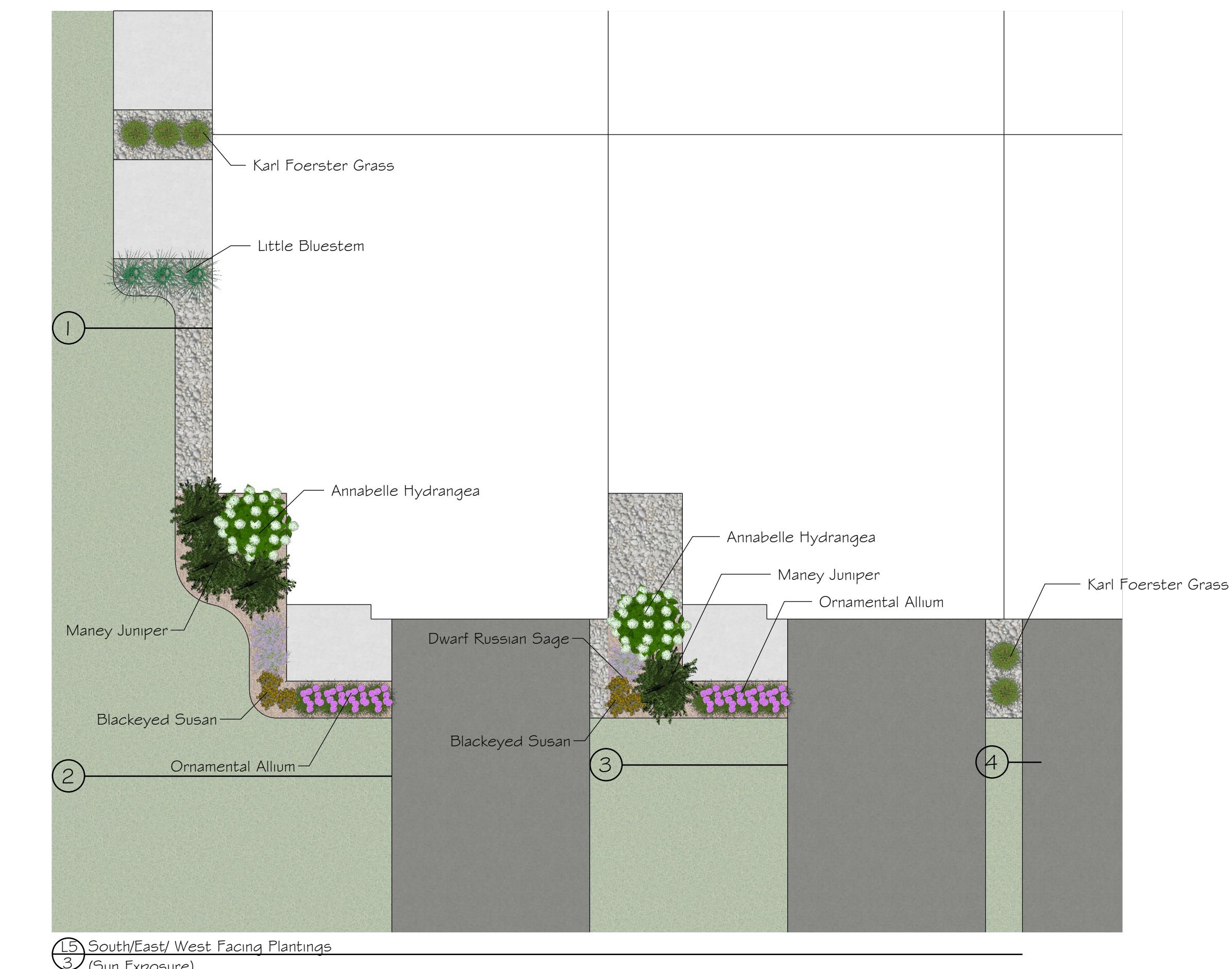
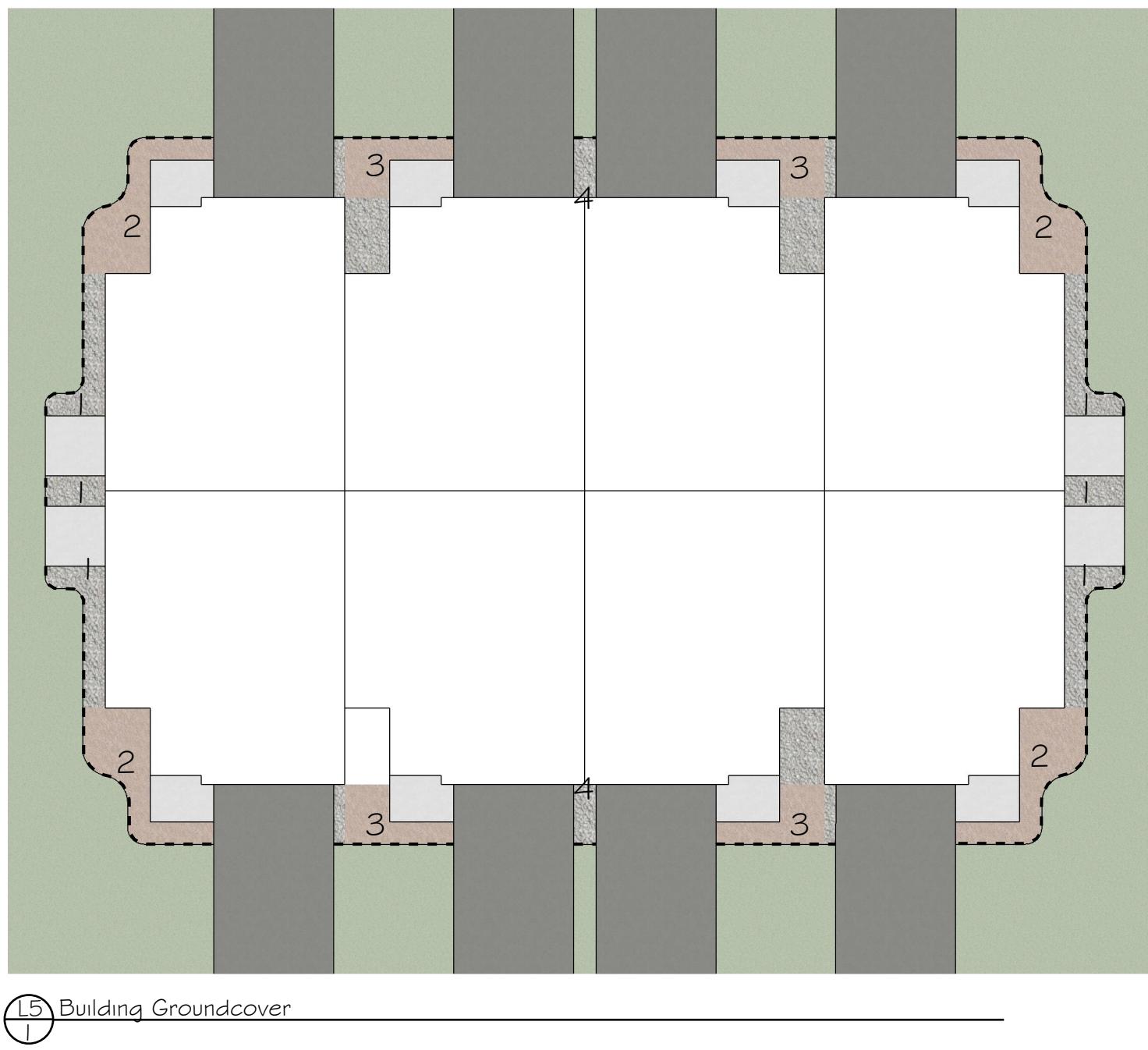
PRELIMINARY LANDSCAPE PLAN
PRAIRIE RIDGE
JP BROOKS BUILDERS



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PROJECT #
DELANO
MN

FILE #
L4 5



Prairie Ridge

Delano, Minnesota

Project #	43688-406	Date	February 11, 2025
Prepared for:	JP Brooks Builders	pared Sathre-Bergquist, Inc.	
	11314 86th Avenue North Maple Grove, Minnesota 55369	14000 25th Avenue North, Suite 120 Plymouth, MN 55447	
Contact:	Art Plante	Charlie Wiemerslage	
tel:	763-285-4795	952-476-6000	

Single Family	Gross Area	Wetland Area	Net Area	Width @ Setback
Lot: 1	10042.268 s.f.	0.231 acres	0 s.f. 0.23 acres	69.3 +/- l.f.
Lot: 2	10595.386 s.f.	0.243 acres	0 s.f. 0.24 acres	70 +/- l.f.
Lot: 3	11392.224 s.f.	0.262 acres	0 s.f. 0.26 acres	70 +/- l.f.
Lot: 4	11392.224 s.f.	0.262 acres	0 s.f. 0.26 acres	70 +/- l.f.
Lot: 5	19036.512 s.f.	0.437 acres	0 s.f. 0.44 acres	65 +/- l.f.
Lot: 6	20755.576 s.f.	0.476 acres	0 s.f. 0.48 acres	75 +/- l.f.
Lot: 7	30207.511 s.f.	0.693 acres	0 s.f. 0.69 acres	75 +/- l.f.
Lot: 8	14713.573 s.f.	0.338 acres	0 s.f. 0.34 acres	91.5 +/- l.f.
Lot: 9	15107.238 s.f.	0.347 acres	0 s.f. 0.35 acres	82.5 +/- l.f.
Lot: 10	13765.595 s.f.	0.316 acres	0 s.f. 0.32 acres	82.5 +/- l.f.
Lot: 11	11524.506 s.f.	0.265 acres	0 s.f. 0.26 acres	76 +/- l.f.
Lot: 12	13909.79 s.f.	0.319 acres	0 s.f. 0.32 acres	113.3 +/- l.f.
Lot: 13	14143.448 s.f.	0.325 acres	0 s.f. 0.32 acres	134.4 +/- l.f.
Lot: 14	10490.369 s.f.	0.241 acres	0 s.f. 0.24 acres	82.6 +/- l.f.
Lot: 15	10870.278 s.f.	0.25 acres	0 s.f. 0.25 acres	75 +/- l.f.
Lot: 16	11318.45 s.f.	0.26 acres	0 s.f. 0.26 acres	75 +/- l.f.
Lot: 17	11191.373 s.f.	0.257 acres	0 s.f. 0.26 acres	75.4 +/- l.f.
Lot: 18	10755.433 s.f.	0.247 acres	0 s.f. 0.25 acres	75 +/- l.f.
Lot: 19	10070.94 s.f.	0.231 acres	0 s.f. 0.23 acres	75 +/- l.f.
Lot: 20	10948.374 s.f.	0.251 acres	0 s.f. 0.25 acres	75 +/- l.f.
Lot: 21	10952.597 s.f.	0.251 acres	0 s.f. 0.25 acres	70 +/- l.f.
Lot: 22	10255.441 s.f.	0.235 acres	0 s.f. 0.24 acres	70 +/- l.f.
Lot: 23	12483.764 s.f.	0.287 acres	0 s.f. 0.29 acres	80 +/- l.f.
Lot: 24	10627.625 s.f.	0.244 acres	0 s.f. 0.24 acres	75 +/- l.f.
Lot: 25	10954.868 s.f.	0.251 acres	0 s.f. 0.25 acres	84.9 +/- l.f.
Lot: 26	10800 s.f.	0.248 acres	0 s.f. 0.25 acres	80 +/- l.f.
Lot: 27	14482.175 s.f.	0.332 acres	0 s.f. 0.33 acres	76.2 +/- l.f.
Lot: 28	13218.13 s.f.	0.303 acres	0 s.f. 0.30 acres	75 +/- l.f.
Lot: 29	11956.012 s.f.	0.274 acres	0 s.f. 0.27 acres	75 +/- l.f.
Lot: 30	10816.718 s.f.	0.248 acres	0 s.f. 0.25 acres	75 +/- l.f.
Lot: 31	10336.566 s.f.	0.237 acres	0 s.f. 0.24 acres	75 +/- l.f.
Lot: 32	10317.325 s.f.	0.237 acres	0 s.f. 0.24 acres	75 +/- l.f.
Lot: 33	11016.711 s.f.	0.253 acres	0 s.f. 0.25 acres	80 +/- l.f.
Lot: 34	11037.602 s.f.	0.253 acres	0 s.f. 0.25 acres	80 +/- l.f.
Lot: 35	10082.202 s.f.	0.231 acres	0 s.f. 0.23 acres	65.2 +/- l.f.
Lot: 36	10095.195 s.f.	0.232 acres	0 s.f. 0.23 acres	65.2 +/- l.f.
Lot: 37	10039.383 s.f.	0.23 acres	0 s.f. 0.23 acres	70.2 +/- l.f.
Lot: 38	10010.926 s.f.	0.23 acres	0 s.f. 0.23 acres	70.2 +/- l.f.
Lot: 39	10388.951 s.f.	0.238 acres	0 s.f. 0.24 acres	65.2 +/- l.f.
Lot: 40	11361.714 s.f.	0.261 acres	0 s.f. 0.26 acres	70 +/- l.f.
Lot: 41	12259.621 s.f.	0.281 acres	0 s.f. 0.28 acres	74.6 +/- l.f.
Lot: 42	17131.618 s.f.	0.393 acres	0 s.f. 0.39 acres	94.6 +/- l.f.
Lot: 43	10049.201 s.f.	0.231 acres	0 s.f. 0.23 acres	71.1 +/- l.f.
Lot: 44	9970.588 s.f.	0.229 acres	0 s.f. 0.23 acres	71.3 +/- l.f.
Lot: 45	10321.25 s.f.	0.237 acres	0 s.f. 0.24 acres	80.8 +/- l.f.
Lot: 46	10060.62 s.f.	0.231 acres	0 s.f. 0.23 acres	65 +/- l.f.
Lot: 47	10215.767 s.f.	0.235 acres	0 s.f. 0.23 acres	65 +/- l.f.
Lot: 48	10354.393 s.f.	0.238 acres	0 s.f. 0.24 acres	65 +/- l.f.

Lot:49	12215.506 s.f.	0.28 acres	0	s.f.	12,216 s.f.	0.28 acres	80.1	+/-	l.f.
Lot:50	11935.603 s.f.	0.274 acres	0	s.f.	11,936 s.f.	0.27 acres	80	+/-	l.f.
Lot:51	10367.202 s.f.	0.238 acres	0	s.f.	10,367 s.f.	0.24 acres	65	+/-	l.f.
Lot:52	10208.044 s.f.	0.234 acres	0	s.f.	10,208 s.f.	0.23 acres	65	+/-	l.f.
Lot:53	10066.568 s.f.	0.231 acres	0	s.f.	10,067 s.f.	0.23 acres	65	+/-	l.f.
Lot:54	10861.741 s.f.	0.249 acres	0	s.f.	10,862 s.f.	0.25 acres	65	+/-	l.f.
Lot:55	10189.913 s.f.	0.234 acres	0	s.f.	10,190 s.f.	0.23 acres	65.6	+/-	l.f.
Lot:56	9909.878 s.f.	0.227 acres	0	s.f.	9,910 s.f.	0.23 acres	72.5	+/-	l.f.
Lot:57	13330.734 s.f.	0.306 acres	0	s.f.	13,331 s.f.	0.31 acres	69.7	+/-	l.f.
Lot:58	11888.896 s.f.	0.273 acres	0	s.f.	11,889 s.f.	0.27 acres	69.7	+/-	l.f.
Lot:59	11408.384 s.f.	0.262 acres	0	s.f.	11,408 s.f.	0.26 acres	92.5	+/-	l.f.
Lot:60	10639.219 s.f.	0.244 acres	0	s.f.	10,639 s.f.	0.24 acres	65	+/-	l.f.
Lot:61	10640 s.f.	0.244 acres	0	s.f.	10,640 s.f.	0.24 acres	65	+/-	l.f.
Lot:62	10640 s.f.	0.244 acres	0	s.f.	10,640 s.f.	0.24 acres	65	+/-	l.f.
Lot:63	13984.8 s.f.	0.321 acres	0	s.f.	13,985 s.f.	0.32 acres	95.3	+/-	l.f.
Total	752,115 s.f.	17.26 acres	0	s.f.	752,115 s.f.	17.27 acres			

Townhomes	Gross Area	Wetland Area	Net Area		
Lot:1	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:2	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:3	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:4	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:5	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:6	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:7	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:8	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:9	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:10	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:11	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:12	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:13	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:14	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:15	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:16	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:17	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:18	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:19	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:20	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:21	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:22	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:23	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:24	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:25	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:26	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:27	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:28	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:29	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:30	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:31	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:32	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:33	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:34	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:35	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:36	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:37	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:38	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:39	2590	0.059	0	s.f.	2,590 s.f. 0.06 acres
Lot:40	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres
Lot:41	1850	0.042	0	s.f.	1,850 s.f. 0.04 acres

Lot: 42	1850	0.042	0	s.f.	1,850 s.f.	0.04 acres
Lot: 43	2590	0.059	0	s.f.	2,590 s.f.	0.06 acres
Lot: 44	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 45	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 46	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 47	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 48	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 49	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 50	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 51	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 52	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 53	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 54	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 55	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 56	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 57	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 58	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 59	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 60	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 61	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 62	1573.333	0.036	0	s.f.	1,573 s.f.	0.04 acres
Lot: 63	2065	0.047	0	s.f.	2,065 s.f.	0.05 acres
Lot: 64	2590	0.059	0	s.f.	2,590 s.f.	0.06 acres
Lot: 65	1850	0.042	0	s.f.	1,850 s.f.	0.04 acres
Lot: 66	1850	0.042	0	s.f.	1,850 s.f.	0.04 acres
Lot: 67	1850	0.042	0	s.f.	1,850 s.f.	0.04 acres
Lot: 68	1850	0.042	0	s.f.	1,850 s.f.	0.04 acres
Lot: 69	1850	0.042	0	s.f.	1,850 s.f.	0.04 acres
Lot: 70	2590	0.059	0	s.f.	2,590 s.f.	0.06 acres
Total		144,667 s.f.	3.29 acres	0	s.f.	144,667 s.f.
						3.32 acres

Outlots		Gross Area		Wetland Area		Net Area
Outlot: A	229825.925	5.276		58,096 s.f.	171,730 s.f.	3.94 acres
Outlot: B	194453.802	4.464		38,642 s.f.	155,812 s.f.	3.58 acres
Outlot: C	41849.794	0.961		0 s.f.	41,850 s.f.	0.96 acres
Outlot: D	12431.781	0.285		0 s.f.	12,432 s.f.	0.29 acres
Outlot: E	8295.584	0.19		0 s.f.	8,296 s.f.	0.19 acres
Outlot: F	6223.653	0.143		0 s.f.	6,224 s.f.	0.14 acres
Outlot: G	11899.152	0.273		0 s.f.	11,899 s.f.	0.27 acres
Outlot: H	7527.582	0.173		0 s.f.	7,528 s.f.	0.17 acres
Outlot: I	9032.004	0.207		0 s.f.	9,032 s.f.	0.21 acres
Outlot: J	8268.883	0.19		0 s.f.	8,269 s.f.	0.19 acres
Outlot: K	18218.179	0.418		0 s.f.	18,218 s.f.	0.42 acres
Outlot: L	7217	0.166		0 s.f.	7,217 s.f.	0.17 acres
Outlot: M	11295.732	0.259		0 s.f.	11,296 s.f.	0.26 acres
Outlot: N	15227.684	0.35		0 s.f.	15,228 s.f.	0.35 acres
Outlot: O	3289.366	0.076		0 s.f.	3,289 s.f.	0.08 acres
Outlot: P	11659.349	0.268		0 s.f.	11,659 s.f.	0.27 acres
Outlot: Q	4072.781	0.093		0 s.f.	4,073 s.f.	0.09 acres
Outlot: R	14659.296	0.337		0 s.f.	14,659 s.f.	0.34 acres
Outlot: S	5164.652	0.119		0 s.f.	5,165 s.f.	0.12 acres
Outlot: T	13570.248	0.312		0 s.f.	13,570 s.f.	0.31 acres
Total	634,182 s.f.	14.56 acres		96,738 s.f.	537,444	12.34 acres

ROW		Gross Area		Wetland Area		Net Area
Internal	247,149 s.f.	5.67 acres		0 s.f.	247,143 s.f.	5.67 acres
County	142,559 s.f.	0.78 acres		0 s.f.	142,558 s.f.	3.27 acres
Total	389,708 s.f.	6.46 acres		0 s.f.	389,702 s.f.	8.95 acres

Total		Gross Area		Wetland Area		Net Area
		1,920,672 s.f.		44.09 acres		96,738 s.f. 1,823,934 s.f. 41.87 acres



JP Brooks
BUILDERS

FEBRUARY 11, 2025



PRAIRIE RIDGE OF DELANO

PRELIMINARY PLAT, REZONE,
DEVELOPMENT STAGE PUD



SATHRE-BERGQUIST, INC.

14000 25TH AVENUE N, SUITE 120
PLYMOUTH, MN, 55447

ABOUT THE BUILDER / DEVELOPER



JPB Land, LLC | JP Brooks Builders, locally owned will be the developer and homebuilder ensuring the vision is consistent from start to finish.

OUR MISSION IS SIMPLE:
TO BUILD QUALITY HOMES AT AN AFFORDABLE PRICE

JP Brooks has been in business since 2013

Over **850 homes** constructed in **40+ communities** since 2013

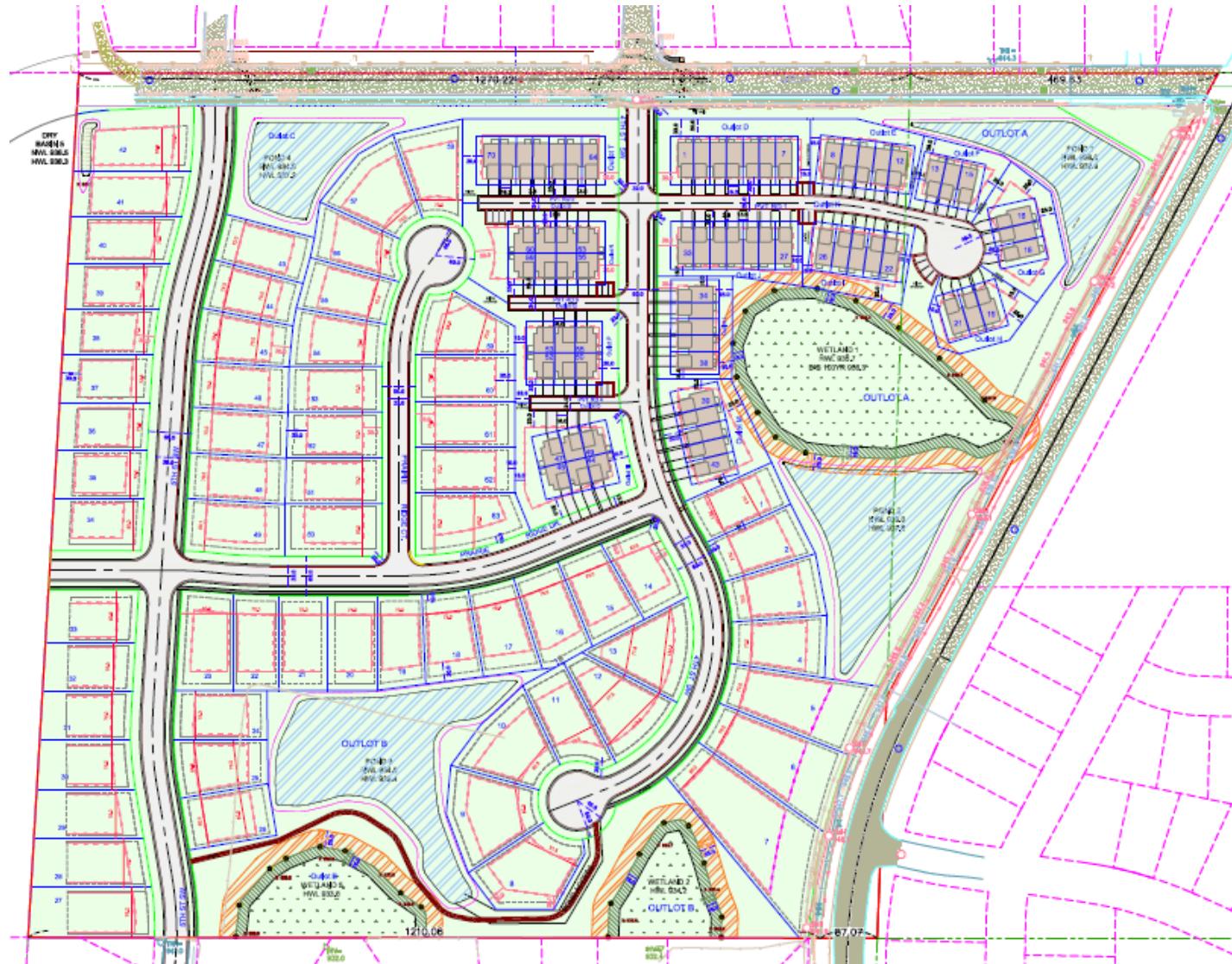
Currently building in 18 locations throughout the metro

Average number of homes closings 2022-2023 = 150 homes annually

Ranked Top 25 Builder in revenues for 2023 in the Twin Cities market

Minnesota Green Path Certified Builder





DATA

Gross Site Area: 44.09 Acres
Residential Net Area: 35.42 Acres
(less ROW and wetlands)
Density: 3.75 Units/Acre

Townhomes = 70 Lots

- Back-to-Back = 20 Lots
- Row-Style = 50 Lots

70'-Wide Single Family = 63 Lots

Total Residential Lots: 133

1. Housing Diversity

- A variety of housing types and price points offered to serve multiple demographics of home purchasers within one neighborhood, including first-time homebuyers and move-up buyers.
- The housing products featured include a wide selection for buyers at each price-point.
- The seventy (70) townhomes will significantly increase the amount of affordable, workforce housing-stock available within the community.

2. Sidewalks, Trails, and Open Space

- A key feature of the neighborhood is connectivity.
 - Sidewalks on all through streets and the 4th St SW cul-de-sac
 - Reconstruction of the existing bituminous trail on the south side of 90th Street
- Nearly 12 acres of open space is secured on the property, including three (3) natural wetlands.

3. Orderly Growth

- The Prairie Ridge property is located south of Parkview Hills and north of Fox Meadows residential developments. The plan extends 5th St north to 90th St effectively connecting these three neighborhoods.
- The density proposed allows for efficient use of municipal infrastructure.

SATISFIES THE FOLLOWING GOALS OF THE CITY'S 2040 COMPREHENSIVE PLAN:

- Housing diversification within low density residential land use categories, including both affordable and higher value options.
- Site plans and subdivisions resulting in no net loss in wetland coverage.
- Utilize PUD's to promote innovative and diverse residential development patterns, protect environmentally sensitive areas, and achieve affordable low density residential neighborhoods.
- Maintain small-town character through the preservation of open space and environmentally sensitive areas.
- Provide a variety of housing opportunities that are sensitive to income levels and lifestyles of all the people who are interested in living in Delano. Through the provision of a diverse housing stock, the City will retain its population by providing housing alternatives that are attractive to all age groups of the communities population.
- Promote an orderly growth pattern that capitalizes on in-place investment and avoids premature extension of utilities and services.



PRAIRIE RIDGE ADDRESSES YOUR HOUSING AFFORDABILITY GOALS

The intent of this PUD is to provide **20 inclusionary owner-occupied housing units**.

These units shall be **affordable to households at one hundred (100) percent of the area median income**, spending no more than thirty (30) percent of their monthly adjusted gross income on housing costs (mortgage plus HOA dues, and utilities).

The provision of inclusionary housing through density and housing diversity is intended to foster a diverse, resilient local economy by bringing workers and residents closer to their jobs, schools, and necessary services.

(City of Delano Ordinance 0-24-07)

This ordinance requires 15% of the total dwelling units to be inclusionary, as defined above;
15% of 133 dwelling units is 20.

HOUSE PRODUCT SUMMARY



JP Brooks
BUILDERS

Size	Type	Plan Name	Bedrooms	Bathrooms	Garages	Base Square Footage	Optional Additional Square Footage	Total Square Footage
Townhome Lots	Back-to-Back	Birchwood	3	3	2	1709		1709
		Hazelwood	3-4	3	2	1709		1709
	Row-Style	Grandview	4	3	2	2072		2072
		Westview	3	3	2	2072		2072
Single Family Detached Lots	Villa	Madison	3	2	3	1596	144	1596-1740
	Villa	Lakewood	2-3	2	3	1796	36	1794-1830
	Villa	Waterford	2-3	2	3	1948	120	1948-2068
	Rambler	Augusta	2-4	2-3	3	1355	1179	1355-2534
	Rambler	Madison	3-5	2-3	3-4	1596	1323	1596-2919
	Rambler	Somerset	2-5	2-3	3-4	1846	1179	1846-3025
	Rambler	Edgewater	2-5	2-3	3-4	1972	1587	1972-3559
	Rambler	Stonewood	3-5	2-3	3	1914	1739	1914-3653
	Split	Weston	3-5	2-3	3	1305	1123	1305-2428
	Split	Washington	3-5	2-3	3	1440	811	1440-2251
	Multi-Level	Crestview	4	3-4	3	2562		2562
	Two Story	Preston	3-4	3-4	3	1804	808	1804-2612
	Two Story	Highland	4-5	3-4	3	2120	701	2120-2821
	Two Story	Brookview	4-5	3-4	3-4	2295	787	2295-3082
	Two Story	Summit	4-5	3-4	3-4	2539	943	2539-3482
	Two Story	Sedona	4-5	4-5	3-4	3164	1246	3164-4410

- Front porches with (SmartSide) LP pillars
- Stone base pillar upgrades
- Varying heights and quantities for stone
- Built out gables
- Coach lamps at garage door
- LP SmartSide window wrapping
- Transom or sidelight windows at front entry door (SF only)
- Different siding options in gables (Board and Batten, Shakes, Built Outs, Dentils, Brackets)
- Garage door is an upgraded short raised panel garage door with grooves. Also allows for windows to be added. Multiple colors, including wood grain to provide higher quality look
- Stone address plaque upgrade option
- All homes Minnesota Green Path certified
- Included front door is an upgraded fiberglass door with a wide array of color options and wood grain options. (Most builders don't do the wood grain because of the cost, we include standard due to positive feedback from customers. SF only)
- Full time designer on staff with over 25 years of experience planning out exterior packages for large, quality communities
- In house design studio where customers can choose their selections
- We are intentional with a self imposed anti-monotony code about not allowing the same elevation or color palette next door, on either side, or directly across the street

Many of these distinctions can be found when viewing the floor plan elevations and 3-D tours on our website at JPBrooks.com. You are welcome to take a self guided tour of our model homes located throughout the metro - see JPBrooks.com for community locations!



OVERVIEW

Bedrooms:

3 - 4

Bathrooms:

3

Garage Stalls:

2

Square Feet:

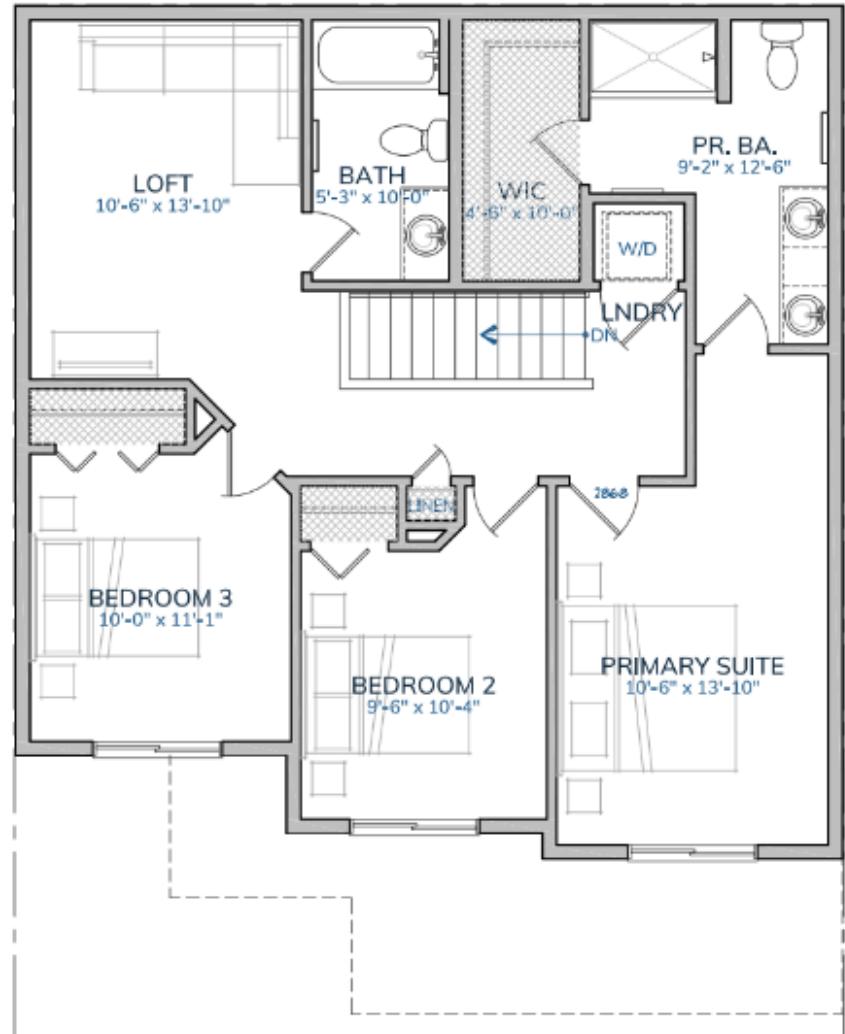
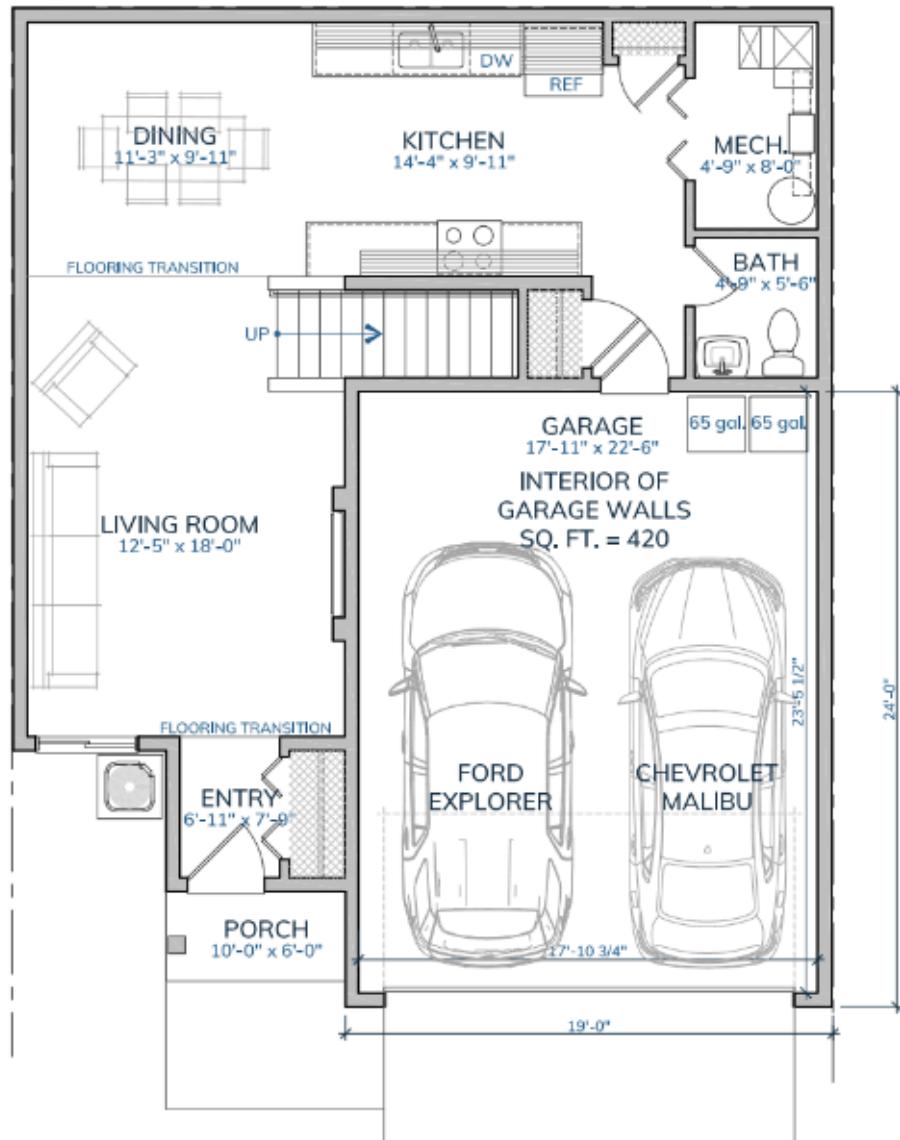
1709



Birchwood Floor Plan

SQUARE FOOTAGE

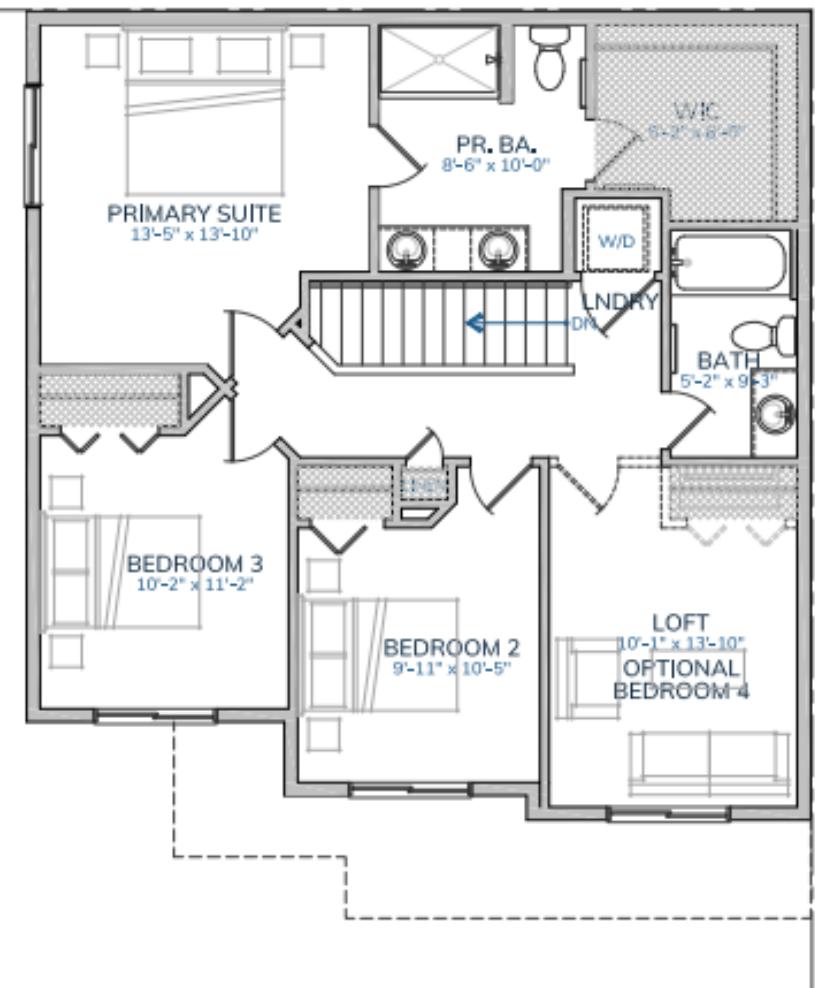
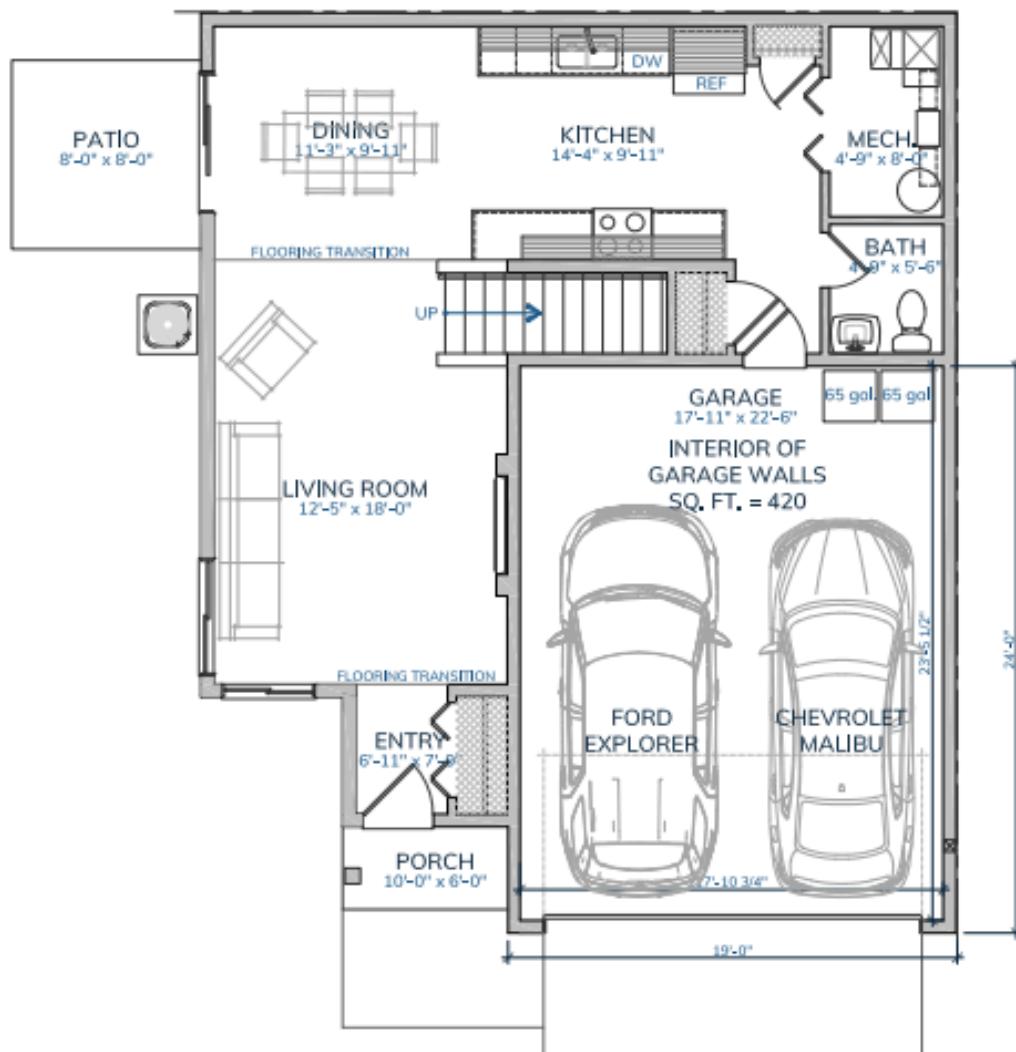
Main Floor: 708 sf
 Upper Floor: 1001 sf
 Garage: 446 sf
 Storage: 90 sf



Hazelwood Floor Plan

SQUARE FOOTAGE

Main Floor: 708 sf
 Upper Floor: 1001 sf
 Garage: 446 sf
 Storage: 106 sf



JP Brooks
 BUILDERS



OVERVIEW

Bedrooms:

3 - 4

Bathrooms:

3

Garage Stalls:

2

Square Feet:

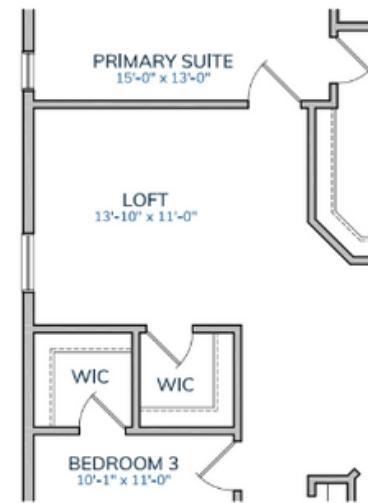
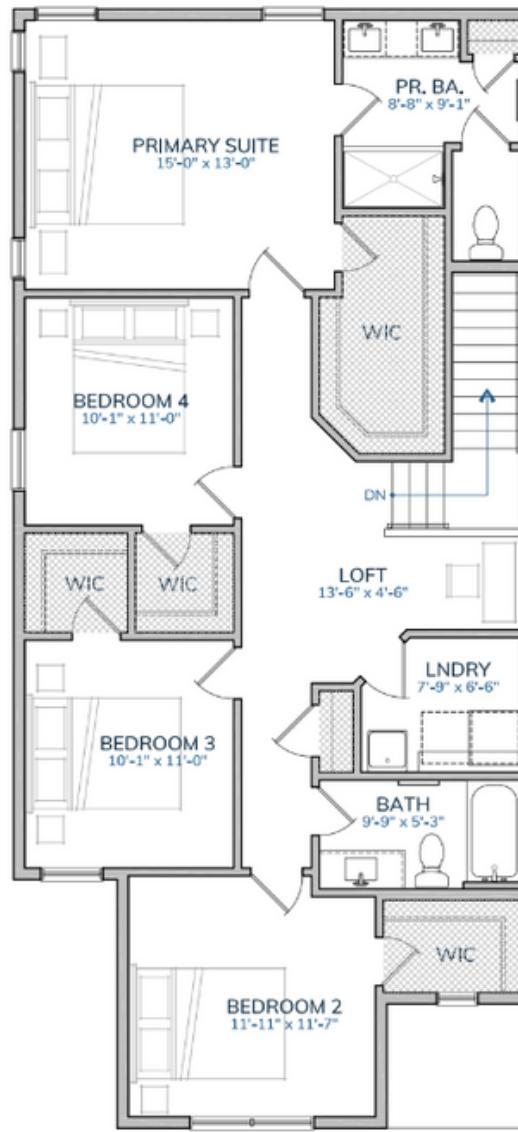
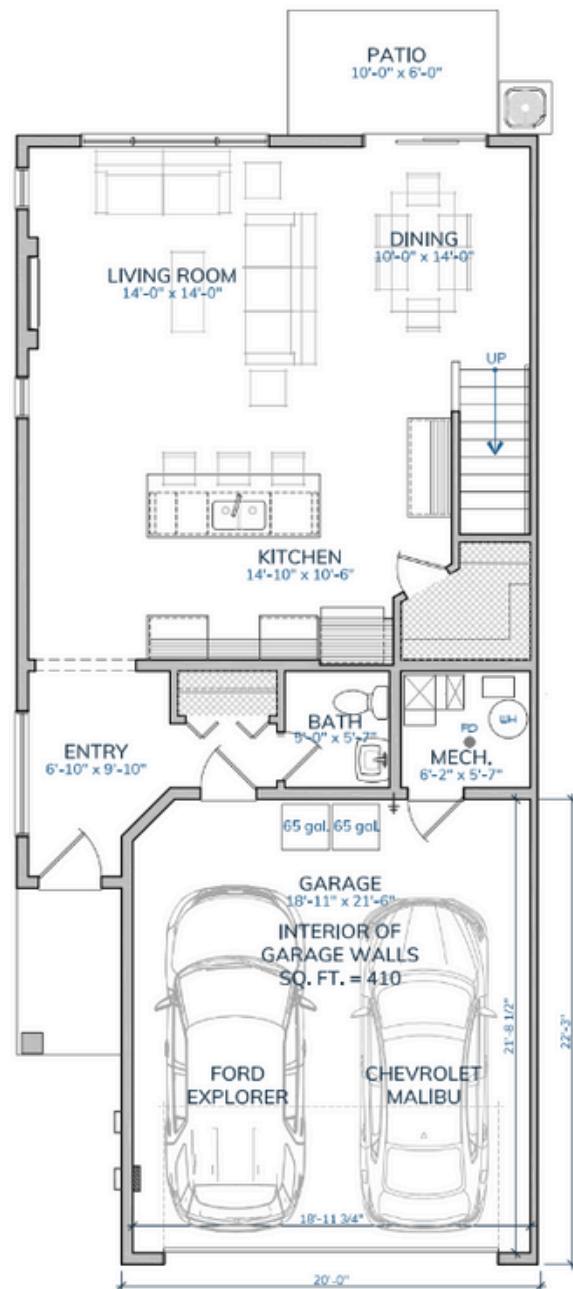
2072



Grandview Floor Plan

SQUARE FOOTAGE

Main Floor: 819 sf
 Upper Floor: 1248 sf
 Garage: 441 sf
 Storage: 188 sf



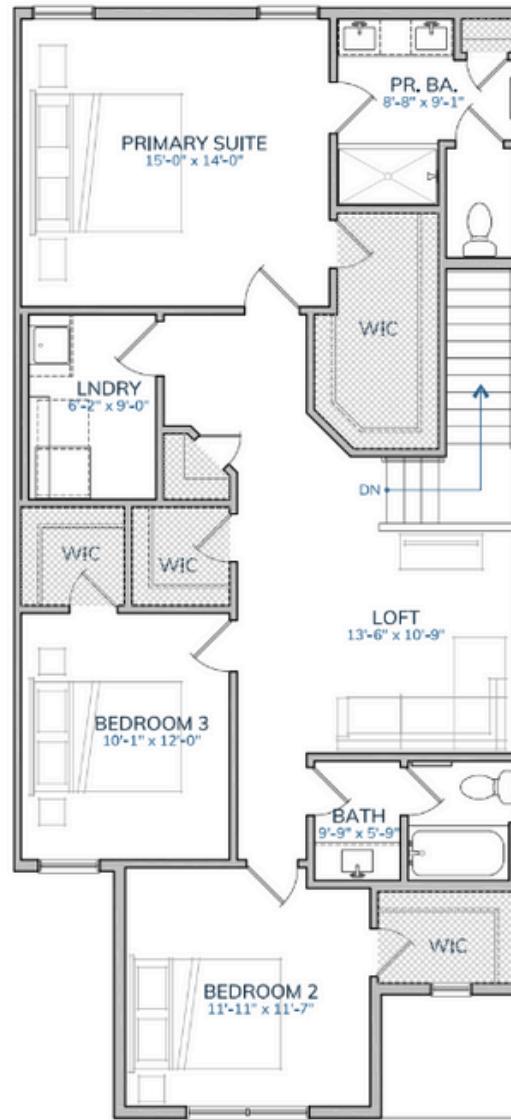
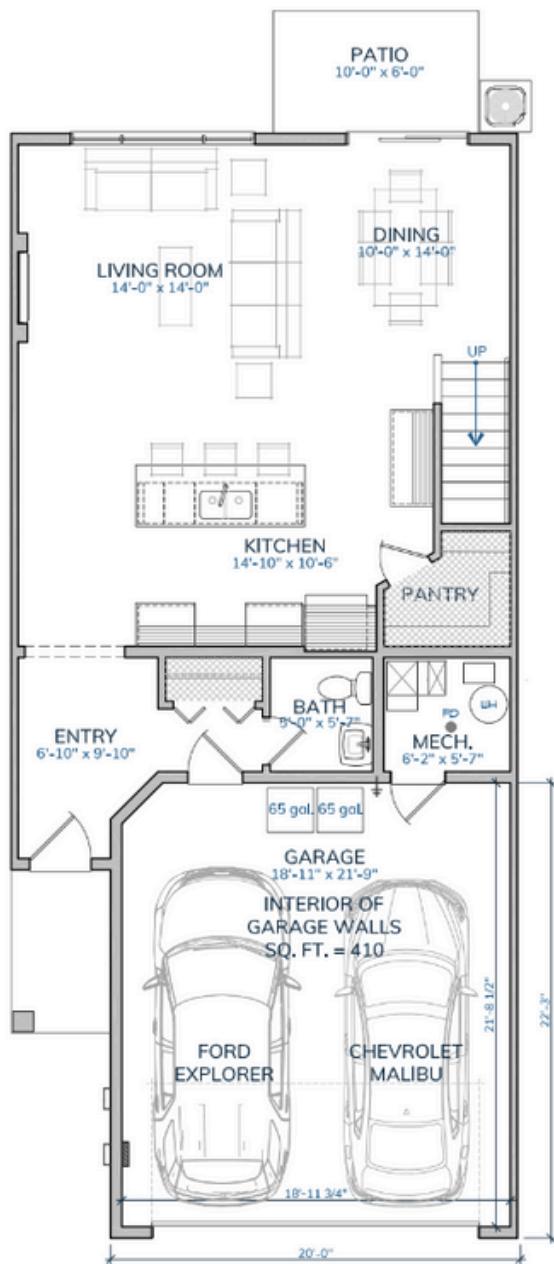
LOFT OPTION

JP Brooks
 BUILDERS

Westview Floor Plan

SQUARE FOOTAGE

Main Floor: 819 sf
 Upper Floor: 1248 sf
 Garage: 441 sf
 Storage: 190 sf



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 BUILDERS

GARAGE STORAGE OPTIONS



JP Brooks
BUILDERS



The Madison

VILLA FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3

Bathrooms:

2

Garage Stalls:

3

Square Feet:

1,596 - 1,740



The Lakewood

VILLA FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

2 - 3

Bathrooms:

2

Garage Stalls:

3

Square Feet:

1,794 - 1,830



The Waterford

VILLA FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

2 - 3

Bathrooms:

2

Garage Stalls:

3

Square Feet:

1,948 - 2,068



The Augusta

RAMBLER FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

2 - 4

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,355 - 2,534



The Madison

RAMBLER FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3 - 5

Bathrooms:

2 - 3

Garage Stalls:

3 - 4

Square Feet:

1,596 - 2,919



The Somerset

RAMBLER FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

2 - 5

Bathrooms:

2 - 3

Garage Stalls:

3 - 4

Square Feet:

1,846 - 3,025



The Edgewater

RAMBLER FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

2 - 5

Bathrooms:

2 - 3

Garage Stalls:

3 - 4

Square Feet:

1,972 - 3,559



The Stonewood

RAMBLER FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3 - 5

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,914 - 3,653





OVERVIEW

Bedrooms:

3 - 5

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,305 - 2,428



The Washington

SPLIT LEVEL FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3 - 5

Bathrooms:

2 - 3

Garage Stalls:

3

Square Feet:

1,440 - 2,251



OVERVIEW

Bedrooms:

4

Bathrooms:

3 - 4

Garage Stalls:

3

Square Feet:

2,562



The Preston

TWO STORY FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

3 - 4

Bathrooms:

3 - 4

Garage Stalls:

3

Square Feet:

1,804 - 2,612



The Highland

TWO STORY FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

4 - 5

Bathrooms:

3 - 4

Garage Stalls:

3

Square Feet:

2,120 - 2,821



The Brookview

TWO STORY FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

4 - 5

Bathrooms:

3 - 4

Garage Stalls:

3 - 4

Square Feet:

2,295 - 3,082



The Summit

TWO STORY FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

4 - 5

Bathrooms:

3 - 4

Garage Stalls:

3 - 4

Square Feet:

2,539 - 3,482



The Sedona

TWO STORY FLOOR PLAN

JP Brooks
BUILDERS



OVERVIEW

Bedrooms:

4 - 5

Bathrooms:

4 - 5

Garage Stalls:

3 - 4

Square Feet:

3,164 - 4,410





DEVELOPER / BUILDER

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